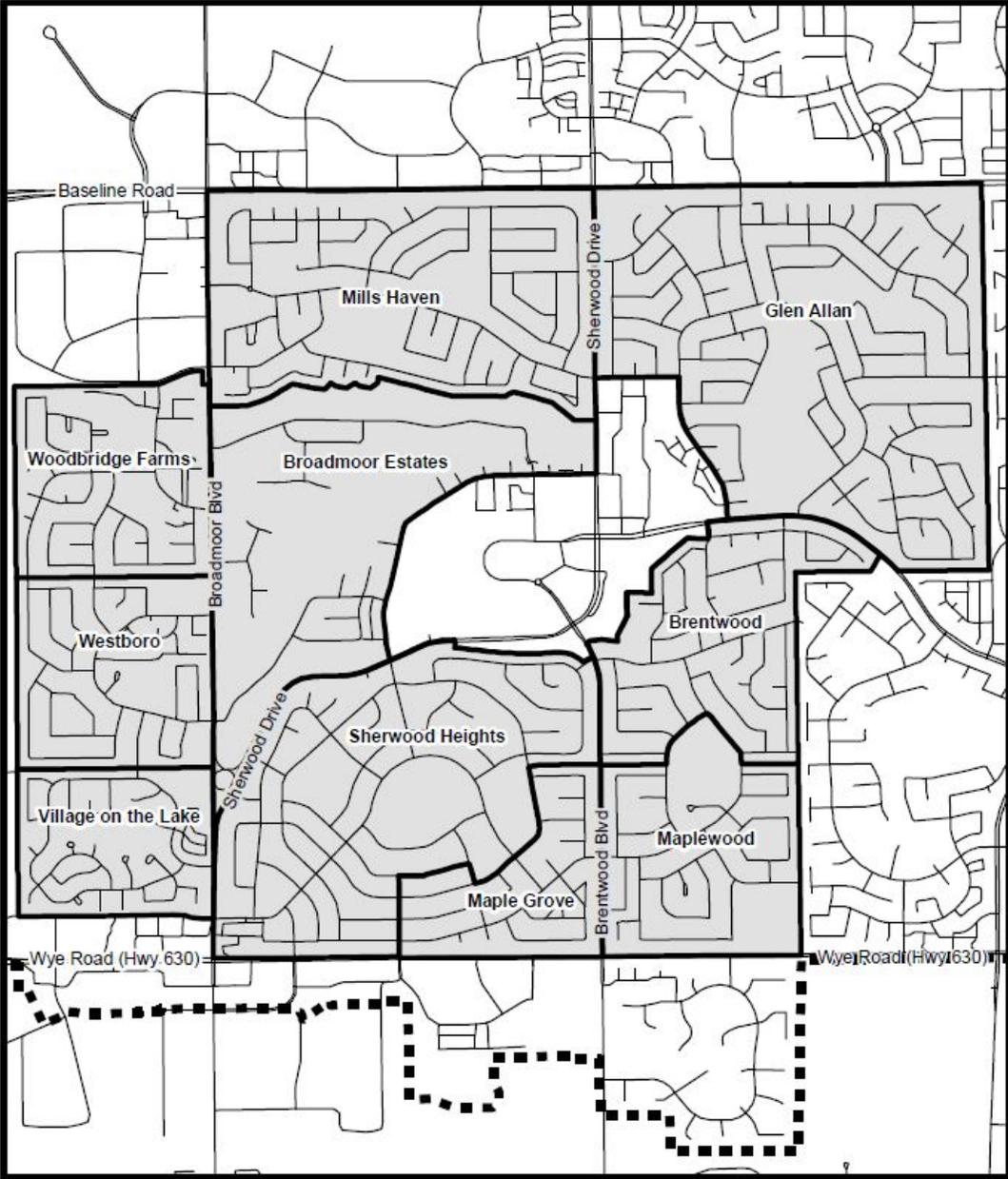


PART 12: MATURE NEIGHBOURHOOD OVERLAY *(Bylaw 32-2016 - Nov 1, 2016)*

MNO – MATURE NEIGHBOURHOOD OVERLAY



12.1 MNO – MATURE NEIGHBOURHOOD OVERLAY

12.1.1. Purpose

The purpose of the Mature Neighbourhood Overlay is to provide for residential development within mature neighbourhoods that respects and maintains the overall character of these areas.

12.1.2. Application

a) The Mature Neighbourhood Overlay applies to the following zoning districts located in the mature neighbourhoods as identified on the Mature Neighbourhood Overlay map (Part 12.1 - Page 1): R1A, R1B, R1C, R2A, R2B, R3, R4.

12.1.3. Definitions

For the purposes of interpretation of Section 12.1 MNO – Mature Neighbourhood Overlay, the following words, terms, and phrases have the meaning assigned to them as follows:

ARCHITECTURAL CHARACTER means the overall architectural style of development, as well as identifiable characters associated with development including, but not limited to, massing, siting, building typology, and landscaping.

ARCHITECTURAL CHARACTER ASSESSMENT CHECKLIST means a tool to be used when assessing the architectural design elements of a development permit application.

ARCHITECTURAL DESIGN ELEMENTS means external features of a building that form the architectural style. These features include, but are not limited to, elements such as form, method of construction, building materials and building features.

ARCHITECTURAL STYLE means various external features of a building that can be characterized by a specific time in history. Examples of this include, but are not limited to, colonial style, prairie style, craftsman style.



Colonial style



Prairie style



Craftsman Style

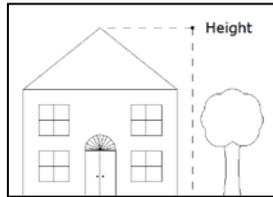
ABUT or ABUTTING means:

- immediately contiguous to, or physically touching, and when used with respect to lots or sites, means to share a common side lot line;
- despite Section 3.8, in the case of a corner lot, the Development Officer may determine the abutting lot or lots based on the orientation of the development in relation to the corner lot.

COMPLEMENTARY means visually compatible with surrounding features.

FRONT FAÇADE means the front exterior wall of a dwelling, exposed to the road, typically containing the primary entrance to the dwelling.

HEIGHT means the maximum vertical distance measured between building grade and the highest point of the building (peak), regardless of roof pitch.



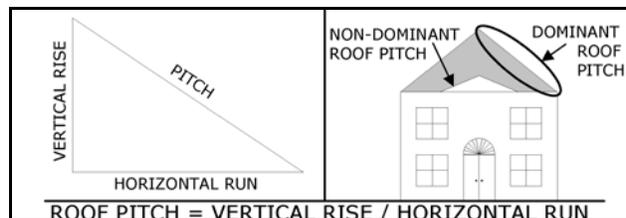
Height illustration

MATURE NEIGHBOURHOOD URBAN FORM AND ARCHITECTURAL CHARACTER ASSESSMENT means a technical background study prepared for Strathcona County (February 2015) that identifies the defining features of mature neighbourhoods that contribute to their unique character.

NEIGHBOURING means up to three lots located immediately next to the lot, on each side, on which the development is proposed.

PRIMARY ARCHITECTURAL STYLE means the dominant architectural style of a building.

ROOF PITCH means the vertical rise of the roof divided by the horizontal run of the roof, for the dominant portion of the roof visible from the road.

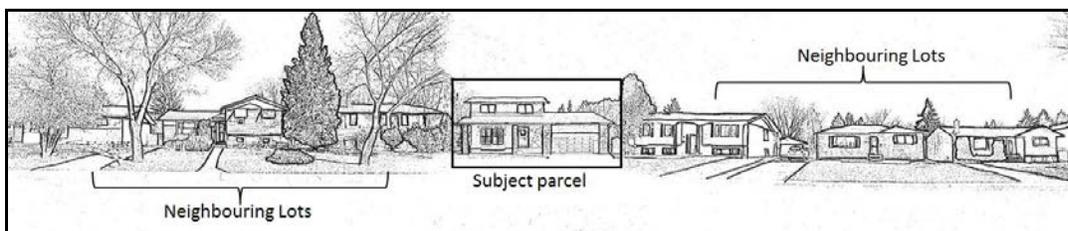


Roof pitch calculation

STEPBACK means the entire horizontal distance that the second storey of a dwelling is set back from the front façade of the first storey.



STREETSCAPE means neighbouring lots that are visible from the road, facing the front of a lot on which a development is proposed.



Streetscape in a mature neighbourhood

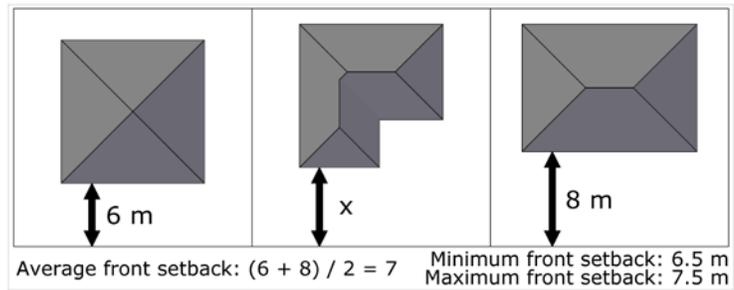
SUN/SHADOW IMPACT STUDY means a technical document prepared by an accredited professional that provides a visual model and written description of the impact of shadows cast by a development on an adjacent lot.

12.1.4. **Development Regulations**

Except where specifically excluded or modified by the following regulations, the regulations of the underlying zoning district shall apply. The regulations of the Mature Neighbourhood Overlay shall apply where any conflict exists within the other Parts of this Bylaw.

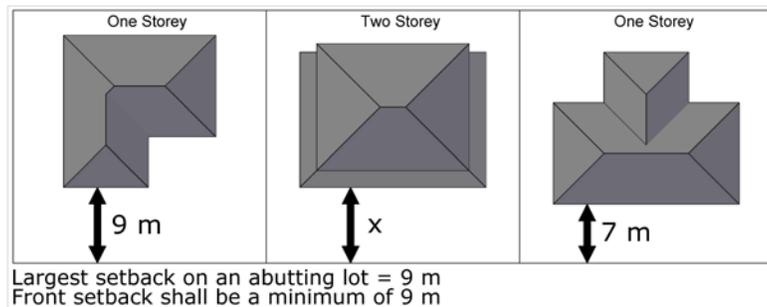
12.1.5. **Development Regulations - Principal Dwelling**

- a) Where the dwelling on each abutting lot is single storey, or less than 6.0 m in height, a new two storey dwelling or an addition of a second storey to an existing single storey dwelling shall:
 - i) have a maximum height of 8.5 m, and
 - ii) have a minimum 1.5 m stepback from the front façade of the first storey.
- b) Front setback:
 - i) The minimum and maximum setback from the front lot line shall be within 0.5 m of the average setback from the front line of the dwelling on each abutting lot.



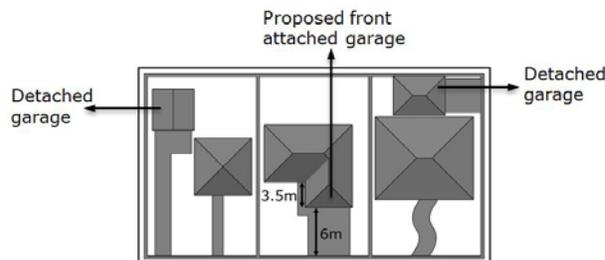
Front setback calculation

- ii) Despite Section 12.1.5. b) i), where the dwelling on each abutting lot consists of only one storey, or is less than 6.0 m in height, the setback from the front lot line of a two storey dwelling shall be no less than that of the dwelling on an abutting lot with the largest setback from the front lot line.



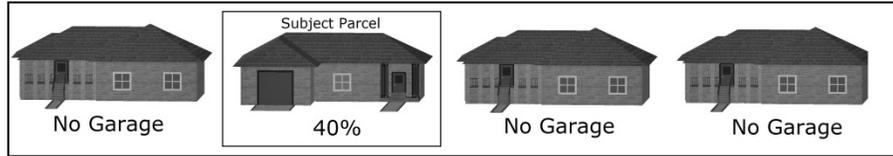
Front setback calculation

- c) Side setback:
- i) The minimum setback from a side lot line shall not be reduced more than 1.0 m of the setback of the previous dwelling on the lot or of the existing dwelling, but in no case shall it be less than the minimum setback required in the underlying zoning district.
- d) Front attached garages:
- i) Where dwellings on the abutting lots do not have protruding front attached garages, a front attached garage shall not protrude more than 3.5 m from the front façade of the dwelling, and in no case shall a front attached garage be less than the minimum setback from the front lot line.



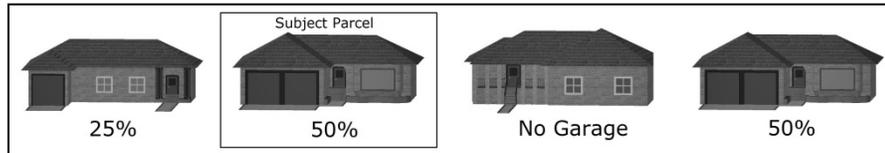
Front attached garage maximum protrusion

- ii) Where each dwelling within the streetscape does not have a front attached garage, or where front attached garage front facades are less than 40% for each dwelling within the streetscape a front attached garage shall not exceed 40% of the front façade.



Maximum attached garage front façade

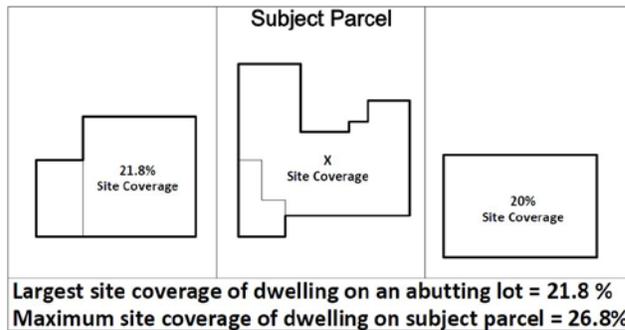
- iii) Shall be complementary to the front attached garage front facades existing within the streetscape.



Complementary front attached garage

12.1.6. Development Regulations - Site Coverage

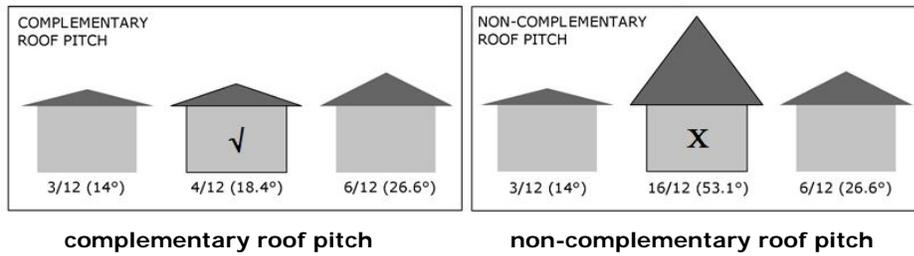
- a) The site coverage for a dwelling shall not exceed the site coverage of the previous dwelling or exceed 5% of the site coverage of the dwelling on the abutting lot with the largest site coverage, whichever is greater.
- b) Despite Section 12.1.6 a), the total site coverage for a lot shall not exceed the maximum in the underlying zoning district.



Site Coverage

12.1.7. Development Regulations - Roof Pitch

- a) Roof pitch shall be complementary to the dominant roof pitch on each abutting lot, to the satisfaction of the Development Officer.

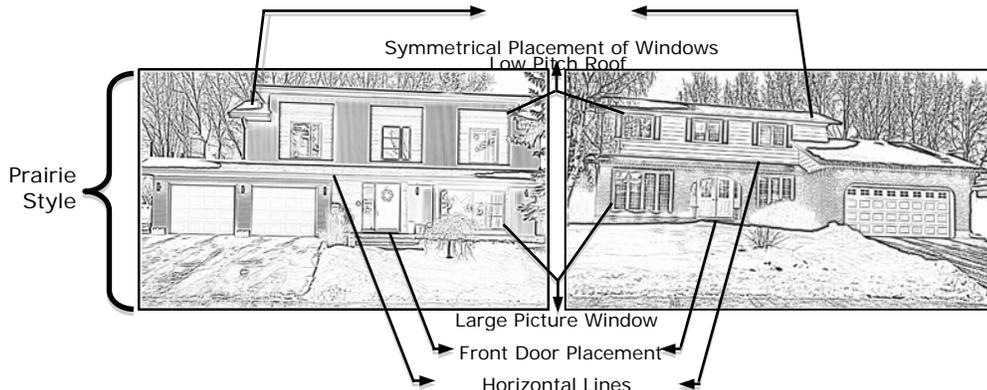


12.1.8. **Development Regulations - Landscaping**

- a) A landscape plan shall be submitted with a development permit application, indicating an inventory of the location, species and condition of all physical features on the applicable yards of the lot and any planting material proposed. A landscape plan shall also indicate the method of protection for existing landscaping or natural vegetation to be conserved during construction, including but not limited to, physical barriers, and buffer area to limit soil disturbance.
- b) Existing landscaping or natural vegetation should be conserved unless the Development Officer determines that removal is necessary to efficiently accommodate the proposed development.
- c) Despite Section 12.1.8 b), where existing landscaping cannot be conserved, the following minimum landscape requirements may be applied at the discretion of the Development Officer:
 - i) An existing tree that needs to be removed to accommodate the development on a lot shall be replaced at the rate of two (2) new trees planted on that lot for every one (1) existing tree removed.
 - ii) All required landscaping materials shall be installed in accordance with the provisions of Section 3.10.38.

12.1.9. **Development Regulations - Architectural Character**

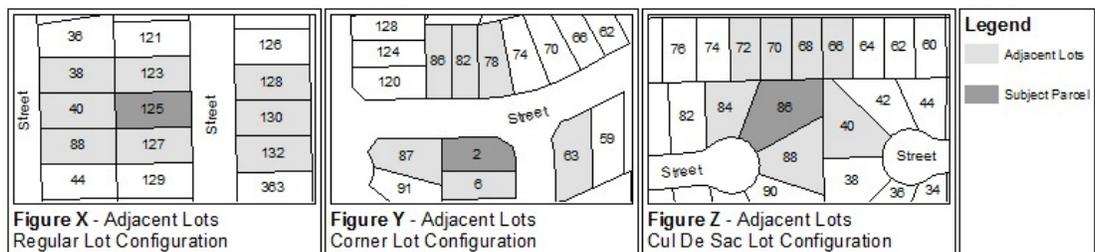
- a) In addition to the development permit application requirements listed in Section 2.9, an application for a development permit shall include the following:
 - i) the primary architectural style of the development.
 - ii) identification of at least two architectural design elements from the primary architectural style found in the streetscape to be incorporated into the development.



- iii) should the identified primary architectural style of the development be modern, identification of at least two elements from a different primary architectural style found in the streetscape (ex: craftsman style) to be incorporated into the development.
- b) The Development Officer shall evaluate development permit applications in the context of the Mature Neighbourhood Urban Form and Architectural Character Assessment by utilizing the Architectural Character Assessment Checklist to evaluate the architectural design elements.
- c) The Development Officer may accept architectural design elements not otherwise found in the Mature Neighbourhood Urban Form and Architectural Character Assessment as long as the Development Officer is satisfied with the documentation provided by the applicant identifying that these elements exist within the streetscape.
- d) The two architectural design elements from the primary architectural style found in the streetscape to be incorporated into the development shall not be duplicated (example two types of windows).
- e) Colours shall not be considered as either of the two architectural design elements from the primary architectural style found in the streetscape to be incorporated into the development.
- f) To ensure the preservation of the architectural character within mature neighbourhoods, incorporating more than two architectural design elements found in the streetscape into a development is strongly encouraged.

12.1.10. **Other Regulations – Public Advisement Process**

- a) Despite Section 2.12, the Development Authority shall provide advisement of the decision including the legal description, civic address, and nature of the development by sending a letter by regular mail to landowners of adjacent lots as identified on the County’s Assessment Roll. This advisement shall not be considered a notice of decision.



Adjacent Lots

12.1.11. **Other Regulations – Review Process**

- a) When reviewing an application for development within the Mature Neighbourhoods, the Development Officer shall conduct at least one site inspection during the application review.

12.1.12. **Other Regulations – Special Information Requirements**

- a) To ensure compliance with the Mature Neighbourhood Overlay, the Development Officer may require that as a condition of issuing a development permit, the applicant provide a Surveyor's Certificate or Real Property Report, signed by an Alberta Land Surveyor, relating to the building that is the subject of the development permit application. The Surveyor's Certificate or Real Property Report shall be submitted upon completion of the building foundation, and prior to commencement of framing or further structural development.
- b) At the discretion of the Development Officer, an applicant may be required to provide a Sun/Shadow Impact prior to the decision being made.

12.1.13. **Other Regulations**

- a) In addition to the regulations listed above, permitted and discretionary uses are subject to the applicable regulations, provisions and requirements contained within the other Parts of this Bylaw.
- b) In addition to the regulations listed above, provisions and regulations contained within Section 3.13 shall apply.
- c) Commercial development located in the mature neighbourhoods as identified on the Mature Neighbourhood Overlay map (Part 12.1 - Page 1) is encouraged to incorporate architectural design elements that respects and maintains the architectural character of mature neighbourhoods.
- d) The Development Officer shall not approve a variance for a development permit for a permitted use or discretionary use, which does not comply with the regulations of this overlay.
- e) Despite Section 12.1.13 d), an addition to a non-conforming dwelling may be considered in accordance with Section 1.12.6 and the regulations of this overlay.
- f) In instances where a dwelling has been damaged or destroyed, the Director of Planning and Development Services may deem it appropriate for a Development Officer to consider a variance to the principle dwelling development regulations of this overlay.
- g) The site grading on a lot for a dwelling shall not in the opinion of the Development Officer be substantially altered from the existing grading and shall be in accordance with the Strathcona County Surface Drainage and Grading Bylaw.

PART 13: SPECIAL AREAS

(Bylaw 2-2020 - Sept. 17, 2020)

13.1 CITP - CENTRE IN THE PARK ZONING DISTRICT

13.1.1 CITP - ALL AREAS

Purpose

- (1) The purpose of this zoning district is to achieve the vision for Centre in the Park set out in the CITP ARP by providing for:
 - (a) a mix of commercial uses, institutional uses, recreational uses, residential uses and other related uses to allow for activity throughout the day and evening as well as during all seasons of the year;
 - (b) a compact area with high density types of dwelling units and a pedestrian friendly design; and
 - (c) enhanced urban design, public realm, and character through a mixture of scales and types of buildings.

Area of Application

- (2) Unless otherwise specified in this bylaw, where there is a conflict between the provisions in section 13.1 of this bylaw and provisions in other parts of this bylaw, the provisions in section 13.1 of this bylaw will take precedence.
- (3) This zoning district contains 16 Areas as shown on Drawing "CITP" contained in section 13.1.1.
- (4) Unless otherwise noted, the regulations set out in this section 13.1.1 apply to each of the 16 Areas contained within this zoning district.

Definitions

- (5) In this zoning district, unless the context requires otherwise, the following terms have the following meanings:

ACTIVE FRONTAGE means street frontage of a building that provides an active visual engagement between those on the street and the first storey of the building. Typically, an active frontage would contain an entrance or lobby.

ACTIVE TRANSPORTATION INFRASTRUCTURE means linear open space that is designed for human-powered travel and that does not allow travel by motor vehicles. Active transportation infrastructure typically includes: multi-use trails; sidewalks; bike lanes; or cycle tracks.

AREA means a specific group of listed uses and regulations which regulate the use and development of land within a specific geographic area of the CITP zoning district shown on Drawing "CITP".

BUILD-TO LINE means the line with which the exterior wall of a building is required to coincide.

CITP ARP means the Centre in the Park Area Redevelopment Plan.

COMMUNITY HOUSING means non-market housing owned by, operated by, or owned and operated by a government agency or non-profit organization.

FRONTAGE ZONE means 'Frontage Zone' as defined in the CITP ARP.

FURNISHING ZONE means 'Furnishing Zone' as defined in the CITP ARP.

GRID STREET PATTERN means a network of roads or streets which form a grid.

INTERNAL PRIVATE STREET means a privately owned and operated vehicular transportation connection which resembles a public street with pedestrian facilities on both sides and is located on a privately owned lot.

LOADING SPACE means a parking space intended for short term use for the purpose of loading or unloading goods, materials, equipment, or waste.

MAJOR PEDESTRIAN FRONTAGE ZONE means 'Major Pedestrian Frontage Zone' as defined in the CITP ARP.

MIXED-USE BUILDING means a multi-storey building containing at least one residential use and at least one other compatible non-residential use.

PEDESTRIAN INFRASTRUCTURE means infrastructure installed specifically for pedestrians. Pedestrian infrastructure typically includes: bus shelters; lighting infrastructure; pedestrian islands; street furniture; traffic calming infrastructure; or wayfinding infrastructure.

PEDESTRIAN SCALED means of a scale intended for the use of pedestrians, rather than vehicles.

PEDESTRIAN THROUGH ZONE means 'Pedestrian Through Zone' as defined in the CITP ARP.

PICK-UP/DROP-OFF SPACE means a parking space allotted for short term stops where the driver does not leave the vicinity of the vehicle.

PODIUM means the base of a building which supports a tower that has a width, length, or both a width and length that is smaller than the base of the building.

PUBLIC SPACE means an area of land or a development that is open to the public.

PUBLICLY ACCESSIBLE AMENITY SPACE means open space that is publicly or privately owned, and that is provided for the use of the public. Publicly accessible

amenity space typically includes: courtyards; gardens; playgrounds; plazas; parks or publicly accessible interior connections.

QUALIFIED PROFESSIONAL means a person who is qualified by one or more of education, experience, regulatory licensing or approval, or training to perform a professional service.

STEPBACK means the entire horizontal distance that a storey of a building is set back from the below storey.

SUN/SHADOW IMPACT STUDY means a technical document that provides a visual model and written description of the impact of shadows cast by a development on adjacent land.

TOWER means the portion of a building located above the podium that has a width, length, or both a width and length that is smaller than the podium.

TRANSITION ZONE means 'Transition Zone' as defined in the CITP ARP.

URBAN SQUARE means the plaza including a clock tower located in front of Savona Centre and the Community Centre.

Subdivision Regulations

- (6) A subdivision must not bisect any existing or planned transportation facilities, stormwater management facilities, or publicly accessible amenity spaces.

Development Regulations

Amenity Space

- (7) A development that is a dwelling, apartment must provide amenity space, private, amenity space, common, or a combination of amenity space, private and amenity space, common at a rate of no less than 3.5 m² per dwelling unit where such dwelling unit is located above the first storey.
- (8) Despite section 13.1.1(7), a Development Officer may allow amenity space, private, amenity space, common, or a combination of amenity space, private and amenity space, common to be provided at a rate that is less than the rate set out in section 13.1.1(7) where the development provides additional publicly accessible amenity space or improvements to publicly accessible amenity space to the satisfaction of the Development Officer.
- (9) A development must provide publicly accessible amenity space in accordance with the CITP ARP and the development regulations of the Area within which it is contained.
- (10) Any publicly accessible amenity space to be provided in accordance with this bylaw must be substantially constructed and available for use no later than the date of the substantial completion of the other parts of the development.

Landscaping

- (11) Where due to the size of the site a proposed development would experience practical difficulties in complying with the regulations of this bylaw related to soft landscaping in the form of trees, the trees required by this bylaw may be substituted as follows:
- (a) a grouping of 5 shrubs for 1 tree, provided such substitution is possible considering the characteristics of the site and to the satisfaction of the Development Officer; or
 - (b) non-soft landscaping enhancements to other amenities within the site for the equivalent dollar value of the trees and their installation to the satisfaction of the Development Officer.

Build-To Lines

- (12) Despite the regulations in each Area related to build-to lines:
- (a) where a building abuts an intersection on Sherwood Drive, such building must have diagonal corner cuts or rounded corners to frame intersections;
 - (b) where a building abuts an intersection, such building must be designed to ensure that adequate sightlines are maintained for pedestrians and vehicles; and
 - (c) where a build-to line conflicts with the location of utility infrastructure, the Development Officer may require additional setbacks.
- (13) Where the regulations in an Area do not specify the placement of a build-to line, the build-to line will be placed at a minimum of 0.0 m from the applicable property line or boundary of the Area.

Outdoor Lighting

- (14) A development must provide pedestrian scaled lighting over the pedestrian through zone of an internal private street or active transportation infrastructure connection. The fixtures providing such lighting must be spaced no further than 30.0 m apart.
- (15) Pedestrian scaled lighting fixtures:
- (a) must not exceed 6.0 m in height;
 - (b) must be of a consistent design and complementary to the overall architectural theme of Centre in the Park; and
 - (c) must be black in colour.

Signs

- (16) A sign that is a freestanding sign is not allowed in this zoning district unless it is pedestrian scaled.

Height

- (17) Where a regulation in section 13.1 refers to a maximum height in both metres and storeys, the greater of the two is the maximum height required by this bylaw.
- (18) Minimum height regulations of this zoning district do not apply to transit facilities or to accessory buildings that are:
 - (a) located within publicly accessible amenity space or amenity space, common; and
 - (b) used for the purposes of maintenance or enjoyment of the publicly accessible amenity space or amenity space, common (such as outdoor canteens or maintenance sheds).
- (19) Developments containing one or more buildings with a height of 14.5 m or greater must implement to the satisfaction of the Development Officer the recommendations of a sun/shadow impact study prepared by a qualified professional.

Transportation and Connectivity

- (20) Developments on large sites must integrate a grid street pattern of internal private streets.
- (21) Each vehicle access to a site must connect to an internal private street within the site.
- (22) Internal private streets must provide pedestrian facilities on both sides of the internal private street.
- (23) Internal private streets may accommodate on-street parking.
- (24) Where a commercial use or an institutional use abuts an internal private street, the pedestrian infrastructure of the internal private street must contain a frontage zone, a pedestrian through zone, and a furnishing zone.
- (25) Where a residential use abuts an internal private street, the pedestrian infrastructure of the internal private street must contain a pedestrian through zone and a furnishing zone.
- (26) For internal private streets, a frontage zone must have a width of at least 0.20 m, a pedestrian through zone must have a width of at least 1.20 m, and a furnishing zone must have a width of at least 1.20 m.
- (27) Active transportation infrastructure connections identified within the CITP ARP are required to be integrated into developments as a part of internal private streets or as stand-alone active transportation infrastructure connections which accommodate both cyclists and pedestrians.
- (28) Each vehicle access to a site must be designed and placed to minimize interruptions to active transportation infrastructure connections.

- (29) Where active transportation infrastructure requires a connection across an internal private street or a vehicle access to a site, such crossing must be clearly marked.
- (30) Pedestrian infrastructure on internal private streets and stand-alone active transportation infrastructure connections must be constructed with materials consistent with the character of the existing redevelopment within the boundaries of the CITP ARP.
- (31) The width of a stand-alone active transportation infrastructure connection must be no less than 1/6 of the maximum building height permitted adjacent to the active transportation infrastructure connection.
- (32) The width of an internal private street must be no less than 1/4 of the maximum building height permitted adjacent to the internal private street.
- (33) The width of an internal private street must be no greater than the maximum building height permitted adjacent to the internal private street.

Built Form

- (34) Redevelopment on a lot or site within this zoning district must result in an increased density of that lot or site.
- (35) The building placements for developments within this zoning district must not prohibit the future development of buildings up to build-to lines that are not immediately contiguous to the current development.
- (36) The building placements for developments within this zoning district must not cause significant interruptions to active transportation infrastructure connections.
- (37) Building facades must vary in finishing materials and must have the facades broken up into definable smaller sections in regular intervals.
- (38) Each commercial use must have a frontage no greater than 100.0 m.
- (39) Unless otherwise specified in this bylaw, a non-residential use must provide an at-grade entrance onto all abutting arterial streets and internal private streets.
- (40) A non-residential use must provide one or more large display windows along public streets and internal private streets.
- (41) A residential use must provide transparent facades within the first storey along public streets and internal private streets.
- (42) A development must incorporate the following key principles of Crime Prevention Through Environmental Design (CPTED) to ensure a safe and comfortable built environment:
 - (a) clear distinction between the public and private realms;
 - (b) clear sight lines along public pathways and in public spaces;

- (c) opportunities for natural surveillance of lanes, sidewalks, streets, greenways and other public spaces;
 - (d) provision of adequate lighting of pedestrian and cycling routes, vehicle parking areas, and other public spaces to enhance security;
 - (e) ensuring that landscaping does not compromise security by preventing clear views from streets to pathways, open space or car parking areas; and
 - (f) encouraging buildings to be oriented towards transit controlled locations to improve safety.
- (43) A development must design buildings to account for seasonal conditions by integrating winter design techniques including but not limited to seamless grade access points, covered entrances, and one or more of warm materials (such as wood or brick), vibrantly coloured accents or coloured lighting.
- (44) A building within a major pedestrian frontage zone must incorporate higher-quality materials at grade.
- (45) A podium may be provided for a tower over 20.0 m in height.
- (46) The minimum height for a podium is 3.5 m.
- (47) Where a podium is provided, a tower shall stepback at least 3.5 m from the front podium wall.
- (48) Towers over 20.0 m in height must be spaced a minimum of 20.0 m apart.

Parking Spaces and Visitor Parking Spaces

- (49) Where located in this zoning district, the number of parking spaces required for certain uses and developments are specified in table 13.1. The number of parking spaces set out in table 13.1 includes barrier free parking spaces.
- (50) The required minimum number of parking spaces column in table 13.1 does not include visitor parking spaces. Where located in this zoning district, the number of visitor parking spaces required for certain uses and developments are specified in table 13.1 in the required minimum number of visitor parking spaces column.

(51) Table 13.1:

TYPE	REQUIRED MINIMUM NUMBER OF PARKING SPACES	REQUIRED MINIMUM NUMBER OF VISITOR PARKING SPACES
assisted living facility	0.25 per 1 sleeping unit	0 for the first 10 sleeping units
congregate housing		1 per 10 sleeping units or portion of 10 sleeping units after the first 10 sleeping units
senior citizen housing		
dwelling, apartment	0.75 parking space per 1 dwelling unit that is a studio apartment 0.75 parking space per 1 dwelling unit that is a 1 bedroom apartment 1 parking space per 1 dwelling unit that is a 2 bedroom apartment 1.25 parking spaces per 1 dwelling unit that is a 3 or more bedroom apartment	0 for the first 10 dwelling units 1 per 10 dwelling units or portion of 10 dwelling units after the first 10 dwelling units

- (52) The minimum number of required parking spaces and visitor parking spaces for non-residential uses or developments is the minimum parking spaces and visitor parking spaces recommended in a parking analysis study for such use or development that is prepared by a qualified professional to the satisfaction of the Development Officer.
- (53) Despite anything else in this bylaw, the Development Officer may only vary the number of parking spaces or visitor parking spaces required in accordance with this bylaw if it is demonstrated to the satisfaction of the Development Officer that there is a reduced demand for parking through the introduction of a travel demand management program which includes effective strategies such as a car share program, shared parking agreements, or access to transit within 30.0 m of the use or development.
- (54) Whether they are required by this bylaw or not, any parking spaces associated with a dwelling, apartment, assisted living facility, congregate housing, or senior citizen housing must be in the form of underground parking or stacked parking.
- (55) Whether they are required by this bylaw or not, any visitor parking spaces associated with a dwelling, apartment, assisted living facility, congregate housing or senior citizen housing must be in the form of underground parking, stacked parking, or on-street parking on an internal private street.

- (56) Where there are parking spaces, visitor parking spaces, or pick-up/drop-off spaces that are associated with non-residential uses and that are in the form of surface parking, the combined total area of the site covered by those parking spaces, visitor parking spaces, and pick-up/drop-off spaces must not exceed 20 % of the combined total area of the site and must not be grouped in areas of more than 0.40 contiguous acres in size.
- (57) A development that includes an underground parking area or a stacked parking structure must have the entrance to such underground parking area or stacked parking structure integrated into the building and strategically placed to minimize the impact to pedestrians.
- (58) A residential use or development that includes a stacked parking structure must have the entirety of the outer portion of the stacked parking screened by non-parking uses to a minimum depth of 8.0 m.
- (59) A stacked parking structure that is provided as a non-accessory parking use or provides parking spaces for a non-residential use must have:
 - (a) a main floor that has non-parking uses to a minimum depth of 8.0 m; and
 - (b) screening on all storeys above the first storey excluding the main floor to the satisfaction of the Development Officer by one or more of non-parking uses to a minimum depth of 8.0 m, architectural screening, or public art.
- (60) A development that includes a surface parking area must ensure that such surface parking areas:
 - (a) are screened by buildings on all sides or are located in the interior of sites in order to minimize visibility from roads, internal private streets and publicly accessible amenity spaces;
 - (b) are not placed abutting and parallel to major pedestrian frontage zones or arterial roadways;
 - (c) are designed to have the spaces they contain in smaller clusters, separated by landscaped areas, public spaces or buildings;
 - (d) have their accesses designed to minimize the interruption of active transportation connectivity; and
 - (e) accommodate active transportation infrastructure connections safely and efficiently through the site and to transit controlled locations.

Bicycle Parking Spaces

(61) Where located in this zoning district, the minimum number of bicycle parking spaces required for certain uses and developments are specified in table 13.2.

(62) Table 13.2:

TYPE	REQUIRED MINIMUM NUMBER OF BICYCLE PARKING SPACES
dwelling, apartment	1 secure indoor bicycle parking space per 3 dwelling units or portion of 3 dwelling units (such indoor bicycle parking spaces to be for residents) plus 1 secure outdoor bicycle parking space per 10 dwelling units or portion of 10 dwelling units (such outdoor bicycle parking spaces to be for visitors)
commercial uses and developments	1 per 250 m ² of gross floor area
institutional uses and developments	1 per 250 m ² of gross floor area

(63) Bicycle parking spaces required by this bylaw must be placed in the most convenient or central location that is sheltered from seasonal elements.

Loading Spaces

(64) Where located in this zoning district, the minimum number of loading spaces required for certain uses and developments are specified in table 13.3.

(65) Table 13.3:

TYPE	REQUIRED MINIMUM NUMBER OF LOADING SPACES
residential uses and developments	<ul style="list-style-type: none"> • 0 required loading spaces where there are less than 20 dwelling units or sleeping units • 1 required loading space where there are at least 20 and no more than 61 dwelling units or sleeping units • 2 required loading spaces where there are more than 60 dwelling units or sleeping units

non-residential uses and developments	<ul style="list-style-type: none"> • 0 required loading spaces where the gross floor area is less than 2000 m² • 1 required loading space where the gross floor area is at least 2000 m² and not more than 5000 m² • 2 required loading spaces where the gross floor area is more than 5000 m²
---------------------------------------	---

(66) Loading spaces in the form of surface parking must:

- (a) be located on the same site as the development or use;
- (b) be located away from public streets and internal private streets;
- (c) where visible from a public street, have visual screening by way of soft landscaping, a fence, or other form of screening to the satisfaction of the Development Officer; and
- (d) not conflict with active transportation infrastructure connections.

Pick-up/Drop-off Spaces

(67) Where located in this zoning district, the maximum number of pick-up/drop-off spaces permitted for certain uses and developments are specified in table 13.4.

(68) Table 13.4:

TYPE	MAXIMUM NUMBER OF PICK-UP/DROP-OFF SPACES
hotel	3 pick-up/drop-off spaces
health service, major uses	3 pick-up/drop-off spaces

(69) Despite anything else in this bylaw, the Development Officer may increase the maximum number of pick-up/drop-off spaces permitted in accordance with table 13.4, only where supported to the satisfaction of the Development Officer by a parking analysis study.

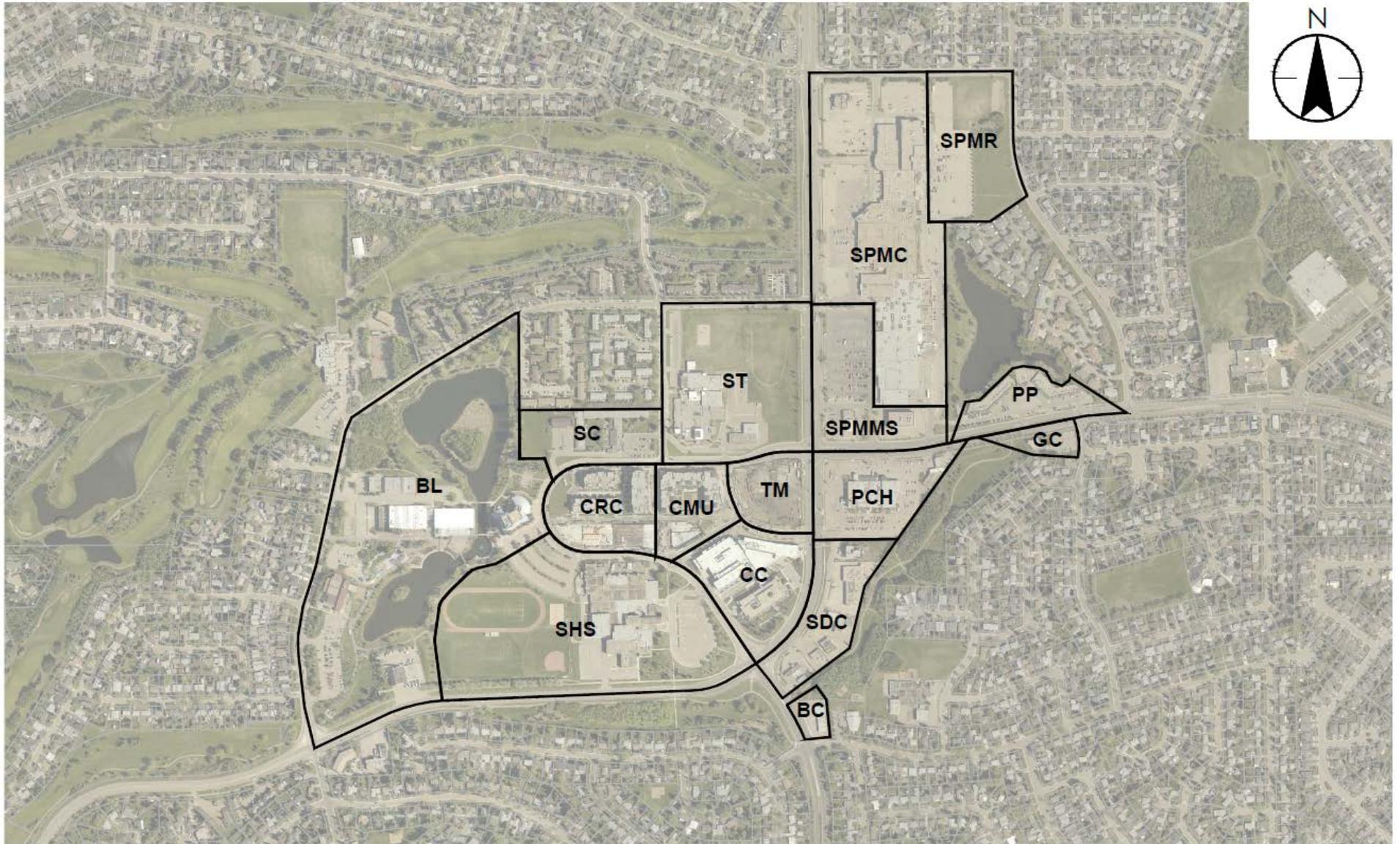
(70) Pick-up/drop-off spaces for hotels and health service, major uses must:

- (a) be provided on-site;
- (b) be provided in the form of surface parking, drive through lanes or a layby;
- (c) be equal to or less than 30.0 m in total combined length; and

- (d) where active transportation infrastructure requires a connection across an area with pick-up/drop-off spaces, have such crossings be clearly marked.
- (71) Where pick-up/drop-off spaces are provided in the form of surface parking, such pick-up/drop-off spaces must be clearly marked and dedicated as pick-up/drop-off spaces.
- (72) Where pick-up/drop-off spaces are provided in the form of a drive through lane or layby, the width of such drive through lane or layby must accommodate for one lane of parking and one lane of through traffic.

Drawing "CITP"

(73) Drawing "CITP":



13.1.2 SPMC – Sherwood Park Mall Commercial Area

Area of Application

- (1) The SPMC area contains the area of land shown on Drawing "CITP" in section 13.1.1 that is identified as "SPMC". The regulations set out in this section 13.1.2 apply to the SPMC area.

Purpose

- (2) The purpose of this area is to allow for the existing mall to redevelop into a mixed-use urban centre which focuses on larger commercial uses with opportunities for residential uses.

Uses

- (3) Subject to any fundamental use criteria for certain uses set out below, the permitted uses and the discretionary uses for this area are:

PERMITTED USES
assisted living facility
care centre, intermediate
care centre, major
care centre, minor
commercial school
congregate housing
cultural/entertainment facility
dwelling, apartment
financial service
food service, restaurant
food service, specialty
government service
health service, minor
home office
hotel
library and exhibit
neighbourhood pub
office
parking, non-accessory
personal service establishment
private club
recreation, indoor
residential sales centre
retail, alcohol
retail, cannabis
retail, convenience
retail, general
retail, secondhand
senior citizen housing

veterinary service, minor

DISCRETIONARY USES

amusement centre, where the gross floor area is less than 2000 m²

animal grooming and care, where the gross floor area is less than 250 m²

emergency service, where the gross floor area is less than 2000 m²

exhibition and convention facility, where the gross floor area is less than 2000 m²

health service, major, where the gross floor area is less than 2000 m²

religious assembly, minor, where it does not front onto Sherwood Drive

utility service, minor, where it does not front onto Sherwood Drive

WECS, small

- (4) The fundamental use criteria for certain uses before such uses become permitted uses or discretionary uses within this area are:
- (a) where a permitted use or discretionary use listed in section 13.1.2(3) interrupts a linkage shown on Drawing "SPMC", then that use can only occur if it includes a linkage on the same site as the use to replace such interruption.

Development Regulations

Height

- (5) The maximum height of any building is:
- (a) 40.0 m where located outside of the transition zone; or
- (b) 11.5 m where located within the transition zone.
- (6) The minimum height of any building is:
- (a) 11.5 m where located outside of the transition zone; or
- (b) 10.0 m where located within the transition zone.

Stepback

- (7) A building that abuts Sherwood Drive or the transition zone and has a height greater than 14.5 m must have a minimum 5.0 m stepback at a maximum height of 14.5 m within any building face that abuts Sherwood Drive or the transition zone.

Build-To Lines

- (8) The build-to line for any building is placed:
- (a) between 3.0 m and 6.0 m from a property line that is adjacent to Sherwood Drive with outdoor amenity space, common or landscaping between the build-to line and such property line;

- (b) between 3.0 m and 6.0 m from a property line that is adjacent to Gatewood Boulevard with landscaping placed between the build-to line and such property line;
- (c) between 0.0 m and 3.0 m from any pedestrian infrastructure of an internal private street or from a publicly accessible amenity space with amenity space, common or landscaping between the build-to line and the internal private street or the publicly accessible amenity space;
- (d) at least 7.5 m from a property line that is adjacent to the R3 zoning district; and
- (e) at least 5.5 m from a property line that is adjacent to the PR zoning district.

Figure "SPMC" provides a visual representation of some of the forgoing provisions.

Publicly Accessible Amenity Space

- (9) A development must provide:
 - (a) a publicly accessible amenity space that:
 - (i) has a minimum width of 5.5 m; and
 - (ii) runs the entire length of the adjacent PR zoning district; and
 - (b) a publicly accessible amenity space that:
 - (i) has a minimum size of 0.5 acres;
 - (ii) has a direct active transportation infrastructure connection and visual connection to Sherwood Drive; and
 - (iii) is centrally located.

Connectivity

- (10) A development must provide the active transportation infrastructure connections shown on Drawing "SPMC".

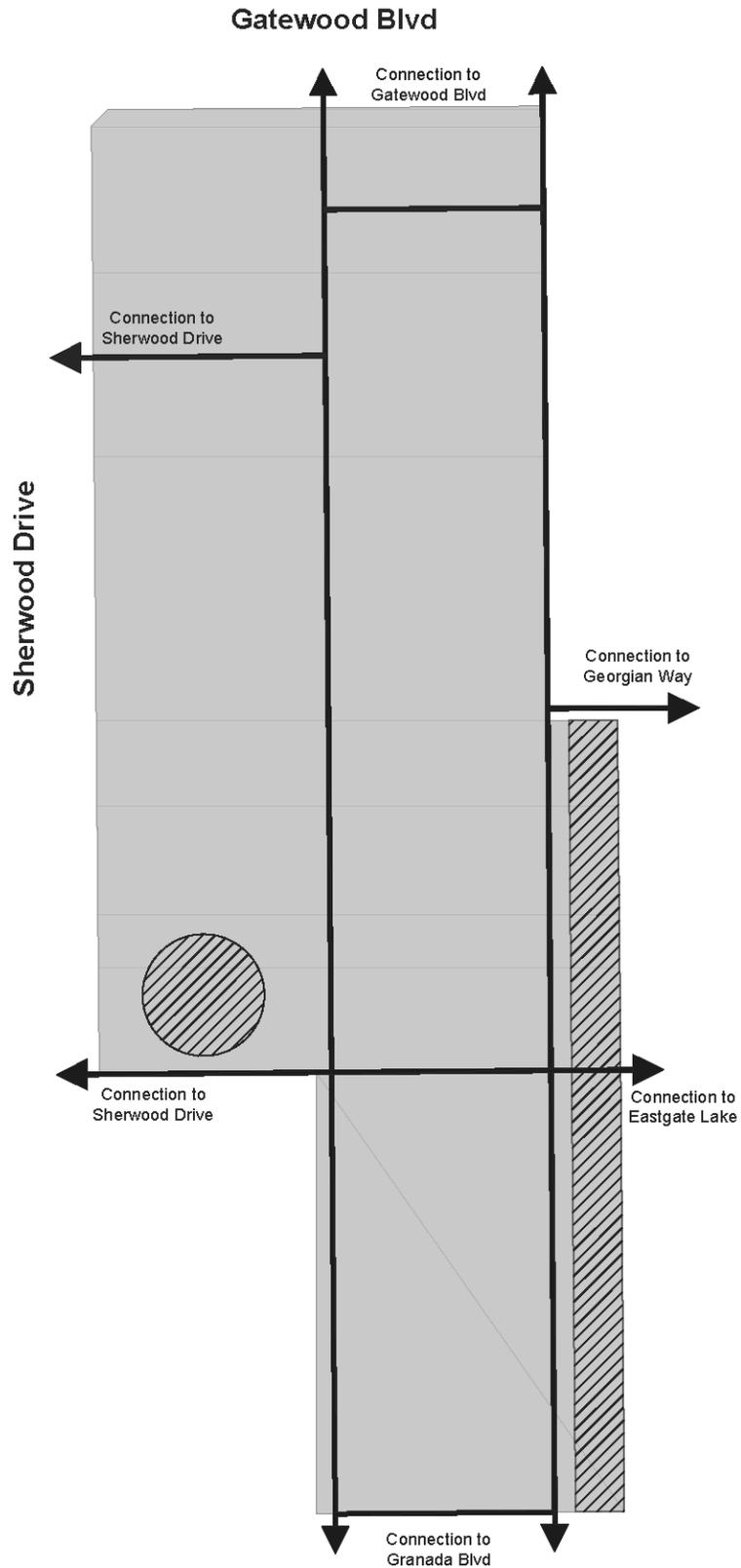
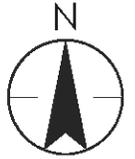
Other

- (11) Despite 13.1.1(39) non-residential uses are not required to have an entrance on to Gatewood Boulevard.

Drawing "SPMC"

- (12) Drawing "SPMC":

Drawing "SPMC"



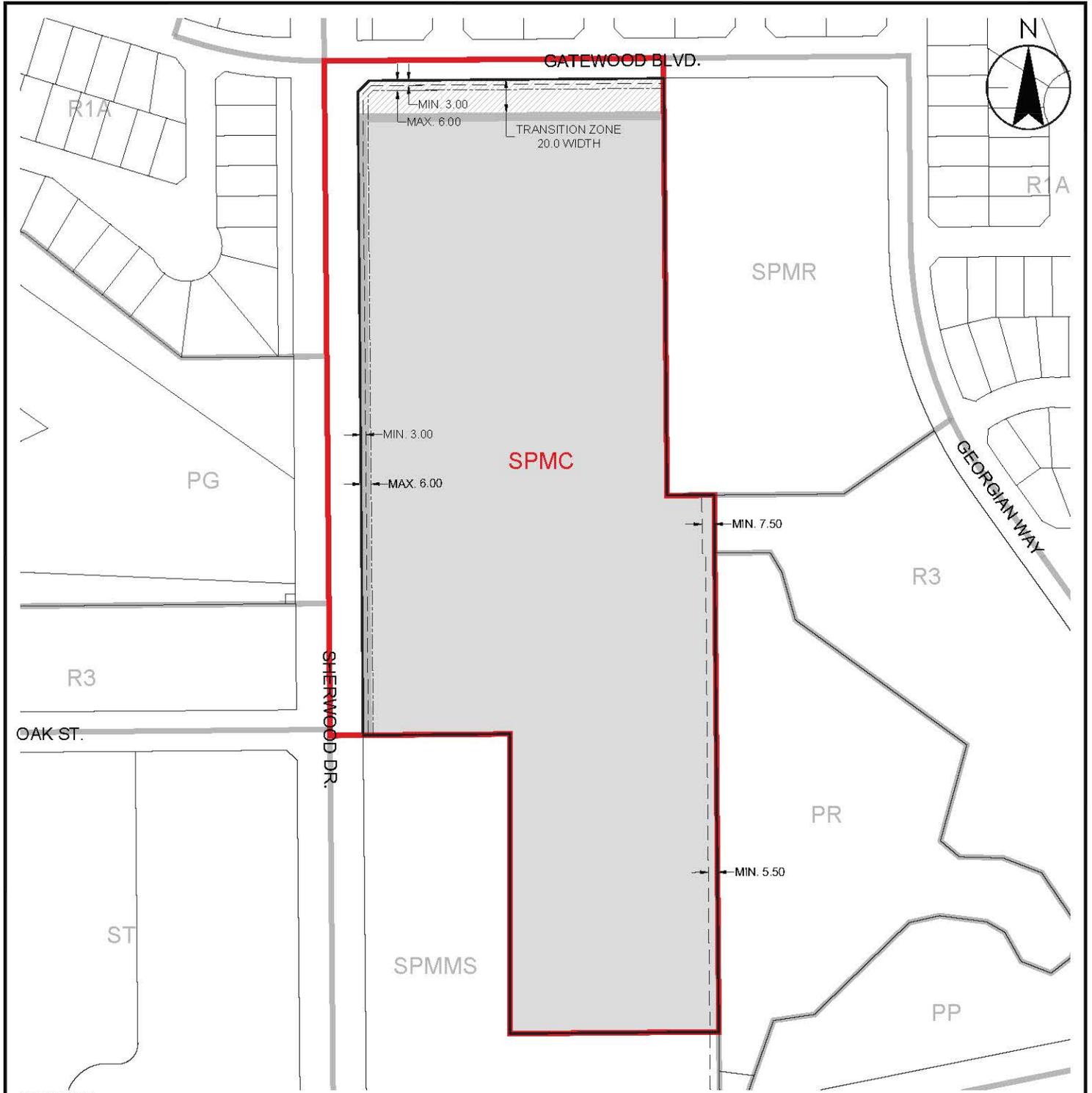
LEGEND

- Active Transportation Infrastructure
- ▨ Publicly Accessible Amenity Space
- Zoning District

Note* Locations and sizes of connections and amenity paces are approximate and will be confirmed through detailed site planning.

Figure "SPMC"

(13) Figure "SPMC":



SCALE NTS

ZONE	SITE BOUNDARY	MIN. BUILD-TO LINE (m)	MAX. BUILD-TO LINE (m)
		-----	-----
	GATEWOOD BLVD	3.0	6.0
	SHERWOOD DR	3.0	6.0
	INTERNAL PRIVATE STREETS, ACTIVE TRANSPORTATION CONNECTION OR PUBLICLY ACCESSIBLE AMENITY SPACE	0.0	3.0
	ABUTTING R3	7.5	N/A
	ABUTTING PR	5.5	N/A

STANDARD	BUILDING HEIGHTS (m)
STANDARD	Min. 11.5 - Max. 40.0
TRANSITION ZONE	Min. 10.0 - Max. 11.5
STEPBACKS	Min. 5.0 m step back at a maximum height of 14.5 m adjacent to Sherwood Drive and abutting the transition zone

Note: Location of internal private streets, active transportation connections and publicly accessible amenity spaces to be determined through detailed site planning
 Note: Heights may vary in accordance with policies

13.1.3 SPMR – Sherwood Park Mall Residential Area

Area of Application

- (1) The SPMR area contains the area of land shown on Drawing "CITP" in section 13.1.1 that is identified as "SPMR". The regulations set out in this section 13.1.3 apply to the SPMR area.

Purpose

- (2) The purpose of this area is a primarily residential area which provides a transition from the higher density mixed-use urban centre to the existing low density residential zoning district.

Uses

- (3) Subject to any fundamental use criteria for certain uses set out below, the permitted uses and the discretionary uses for this area are:

PERMITTED USES
assisted living facility
care centre, intermediate
care centre, major
care centre, minor
congregate housing
dwelling, apartment
financial service
food service, restaurant, where there are less than 100 seats
food service, specialty, where there are less than 100 seats
government service
health service, minor
home business, minor
neighbourhood pub, where there are less than 100 seats
office
parking, non-accessory
personal service establishment
recreation, indoor, where the gross floor area is less than 250 m ²
residential sales centre
retail, alcohol, where the gross floor area is less than 250 m ²
retail, cannabis, where the gross floor area is less than 250 m ²
retail, convenience, where the gross floor area is less than 250 m ²
retail, general, where the gross floor area is less than 250 m ²
retail, secondhand, where the gross floor area is less than 250 m ²
senior citizen housing

DISCRETIONARY USES

utility service, minor

WECS, small

- (4) The fundamental use criteria for certain uses before such uses become permitted uses or discretionary uses within this area are:
- (a) where a permitted use or discretionary use listed in section 13.1.3(3) interrupts a linkage shown on Drawing "SPMR", then that use can only occur if it includes a linkage on the same site as the use to replace such interruption.

Development Regulations

Height

- (5) The maximum height of any building is:
- (a) 20.0 m or six storeys where located outside of the transition zone; or
 - (b) 11.5 m where located within the transition zone.
- (6) The minimum height of any building is 10.0 m.

Stepback

- (7) A building that abuts the transition zone and has a height greater than 14.5 m must have a minimum 5.0 m stepback at a maximum height of 14.5 m within any building face that abuts the transition zone.

Build-To Lines

- (8) The build-to line for any building is placed:
- (a) between 3.0 m and 6.0 m from a property line that is adjacent to Gatewood Boulevard or Georgian Way with landscaping placed between the build-to line and such property line;
 - (b) between 0.0 m and 3.0 m from any pedestrian infrastructure of an internal private street or from a publicly accessible amenity space with amenity space, common or landscaping between the build-to line and the internal private street or the publicly accessible amenity space; and
 - (c) at least 7.5 m from a property line that is adjacent to the R3 zoning district.

Figure "SPMR" provides a visual representation of some of the forgoing provisions.

Publicly Accessible Amenity Space

- (9) A development must provide a publicly accessible amenity space that:

- a) has a minimum size of 0.5 acres;
- b) has a direct active transportation infrastructure connection and visual connection to the internal north south active transportation infrastructure connection from Gatewood Boulevard to Granada Boulevard; and
- c) is centrally located.

Connectivity

- (10) A development must provide the active transportation infrastructure connections shown on Drawing "SPMR".

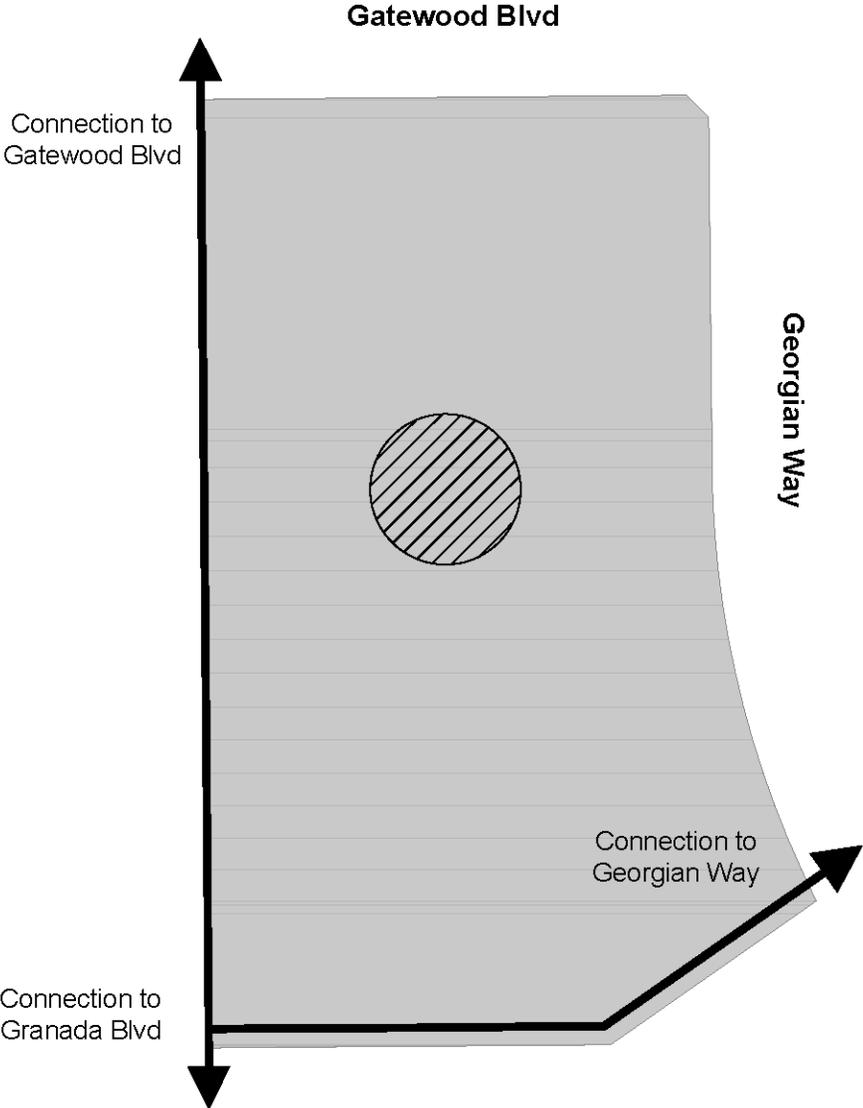
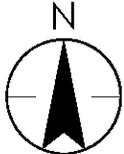
Other

- (11) Only residential uses will be permitted on the first storey of a building face which abuts Gatewood Boulevard or Georgian Way.

Drawing "SPMR"

- (12) Drawing "SPMR":

Drawing "SPMR"



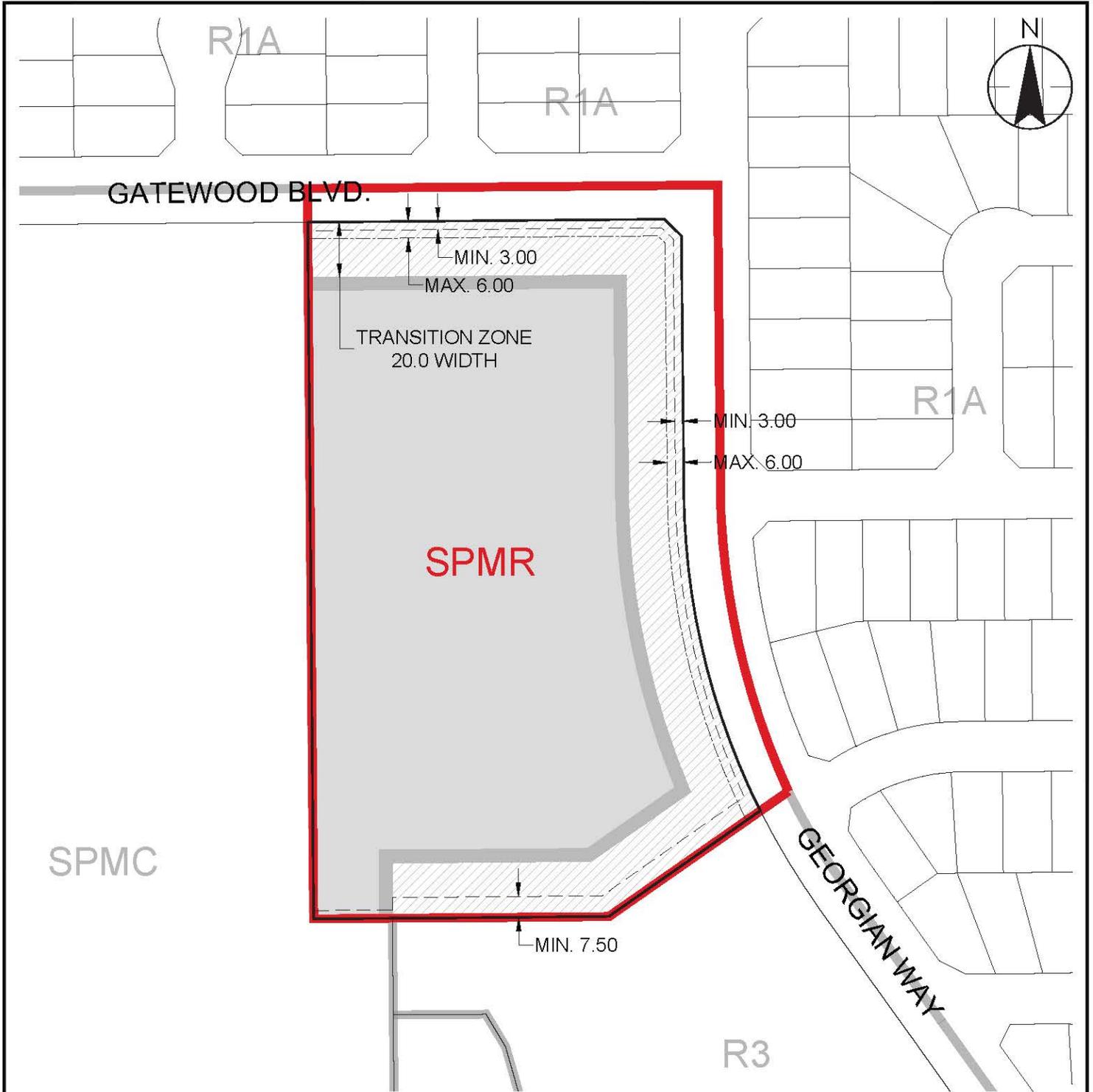
LEGEND

- Active Transportation Infrastructure
- Publicly Accessible Amenity Space
- Zoning District

Note* Locations and sizes of connections and amenity spaces are approximate and will be confirmed through detailed site planning.

Figure "SPMR"

(13) Figure "SPMR":



SCALE NTS

ZONE	SITE BOUNDARY	MIN. BUILD-TO LINE (m)	MAX. BUILD-TO LINE (m)
		---	---
	GATEWOOD BLVD	3.0	6.0
	GEORGIAN WAY	3.0	6.0
	ABUTTING R3	7.5	N/A
	INTERNAL PRIVATE STREETS, ACTIVE TRANSPORTATION CONNECTION OR PUBLICLY ACCESSIBLE AMENITY SPACE	3.0 down to 0.0 for active frontage	N/A

	BUILDING HEIGHTS (m)
STANDARD	Min. 10.0 - Max. 20.0
TRANSITION ZONE	Min. 10.0 - Max. 11.5
STEPBACKS	Min. 5.0 m step back at a maximum height of 14.5 m adjacent to the transition zone

Note: Location of internal private streets, active transportation connections and publicly accessible amenity spaces to be determined through detailed site planning

Note: Heights may vary in accordance with policies

13.1.4 SPMMS – Sherwood Park Mall Main Street Area

Area of Application

- (1) The SPMMS area contains the area of land shown on Drawing "CITP" in section 13.1.1 that is identified as "SPMMS". The regulations set out in this section 13.1.4 apply to the SPMMS area.

Purpose

- (2) The purpose of this area is to create a main street with street fronting commercial uses or institutional uses at grade, and the opportunity for residential uses and office uses above.

Uses

- (3) Subject to any fundamental use criteria for certain uses set out below, the permitted uses and the discretionary uses for this area are:

PERMITTED USES
assisted living facility
care centre, intermediate
care centre, major
care centre, minor
commercial school
congregate housing
cultural/entertainment facility
dwelling, apartment, where it is not located on the first storey of a building fronting onto Sherwood Drive or Granada Boulevard
financial service
food service, restaurant, where there are less than 100 seats
food service, specialty, where there are less than 100 seats
government service
health service, minor
home business, minor
home office
hotel
library and exhibit
neighbourhood pub, where there are less than 100 seats
office
parking, non-accessory
personal service establishment
private club
recreation, indoor
residential sales centre
retail, alcohol, where the gross floor area is less than 250 m ²
retail, cannabis, where the gross floor area is less than 250 m ²

retail, convenience, where the gross floor area is less than 250 m²
retail, general, where the gross floor area is less than 250 m²
retail, secondhand, where the gross floor area is less than 250 m²
senior citizen housing
veterinary service, minor

DISCRETIONARY USES

amusement centre, where the gross floor area is less than 2000 m²
animal grooming and care, where the gross floor area is less than 250 m²
food service, restaurant, where there are equal to or greater than 100 seats
food service, specialty, where there are equal to or greater than 100 seats
health service, major, where the gross floor area is less than 2000 m²
neighbourhood pub, where there are equal to or greater than 100 seats
retail, alcohol, where the gross floor area is equal to or greater than 250 m²
retail, cannabis, where the gross floor area is equal to or greater than 250 m²
retail, convenience, where the gross floor area is equal to or greater than 250 m²
retail, general, where the gross floor area is equal to or greater than 250 m²
retail, secondhand, where the gross floor area is equal to or greater than 250 m²
WECS, small

- (4) The fundamental use criteria for certain uses before such uses become permitted uses or discretionary uses within this area are:
- (a) where a permitted use or discretionary use listed in section 13.1.4(3) interrupts a linkage shown on Drawing "SPMMS", then that use can only occur if it includes a linkage on the same site as the use to replace such interruption.

Development Regulations

Height

- (5) The maximum height of any building is:
- (a) 20.0 m where no community housing units are provided; or
- (b) 40.0 m where community housing units are provided within at least 5 % of the gross floor area located above 20.0 m.
- (6) The minimum height of any building is 10.0 m.

Stepback

- (7) A building that abuts Granada Boulevard and has a height greater than 14.5 m must have a minimum 5.0 m stepback at a maximum height of 14.5 m within any building face that abuts Granada Boulevard.

Build-To Lines

- (8) The build-to line for any building is placed:
- (a) between 0.0 m and 3.0 m from a property line that is adjacent to Sherwood Drive with outdoor amenity space, common or landscaping between the build-to line and such property line;
 - (b) between 1.0 m and 3.0 m from a property line that is adjacent to Granada Boulevard with outdoor amenity space, common or landscaping between the build-to line and such property line;
 - (c) between 0.0 m and 3.0 m from any pedestrian infrastructure of an internal private street or from a publicly accessible amenity space with amenity space, common or landscaping between the build-to line and the internal private street or the publicly accessible amenity space; and
 - (d) at least 5.5 m from a property line that is adjacent to the PR zoning district.

Figure "SPMMS" provides a visual representation of some of the forgoing provisions.

Publicly Accessible Amenity Space

- (9) A development must provide a publicly accessible amenity space that:
- (a) has a minimum width of 5.5 m; and
 - (b) runs the entire length of the adjacent PR zoning district.

Connectivity

- (10) A development must provide the active transportation infrastructure connections shown on Drawing "SPMMS".

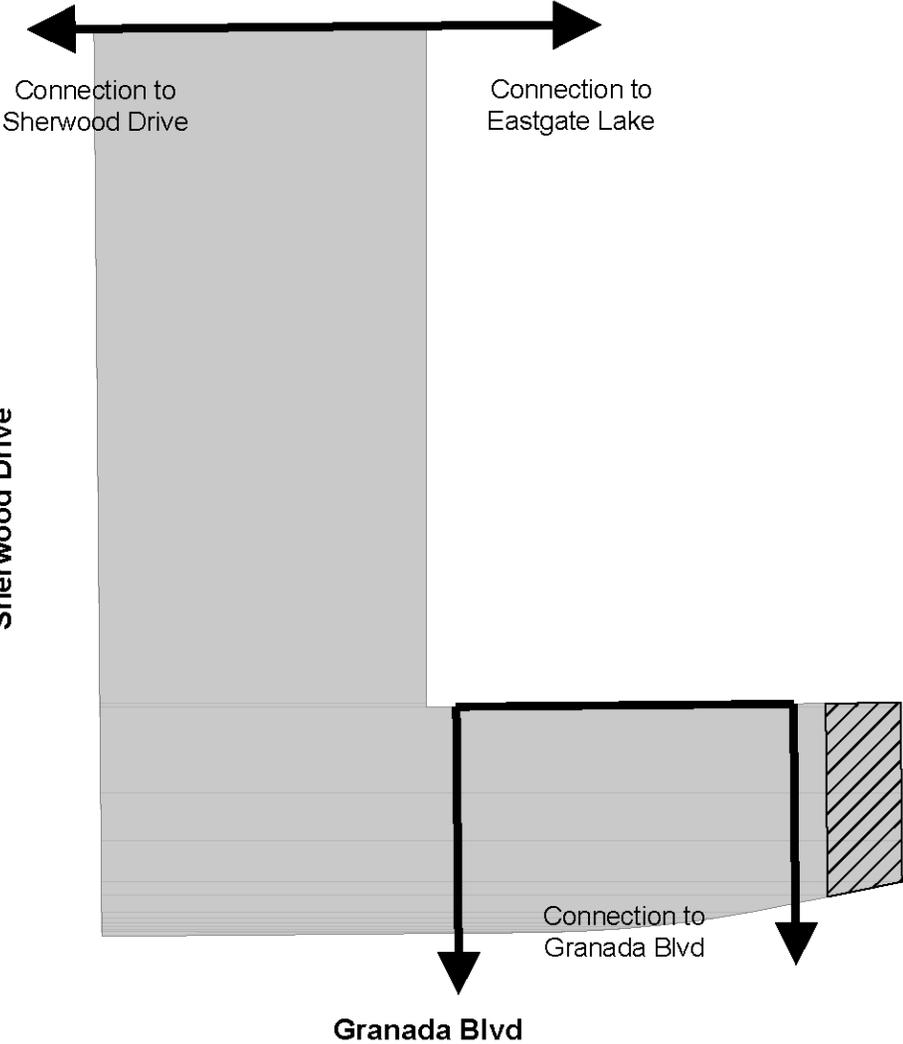
Other

- (11) Any contiguous building frontage must not exceed 100.0 m.
- (12) Any entryways and display windows of a building should cover a minimum of 30 % of the first storey of any building face located beside Sherwood Drive or Granada Boulevard.

Drawing "SPMMS"

- (13) Drawing "SPMMS":

Drawing "SPMMS"



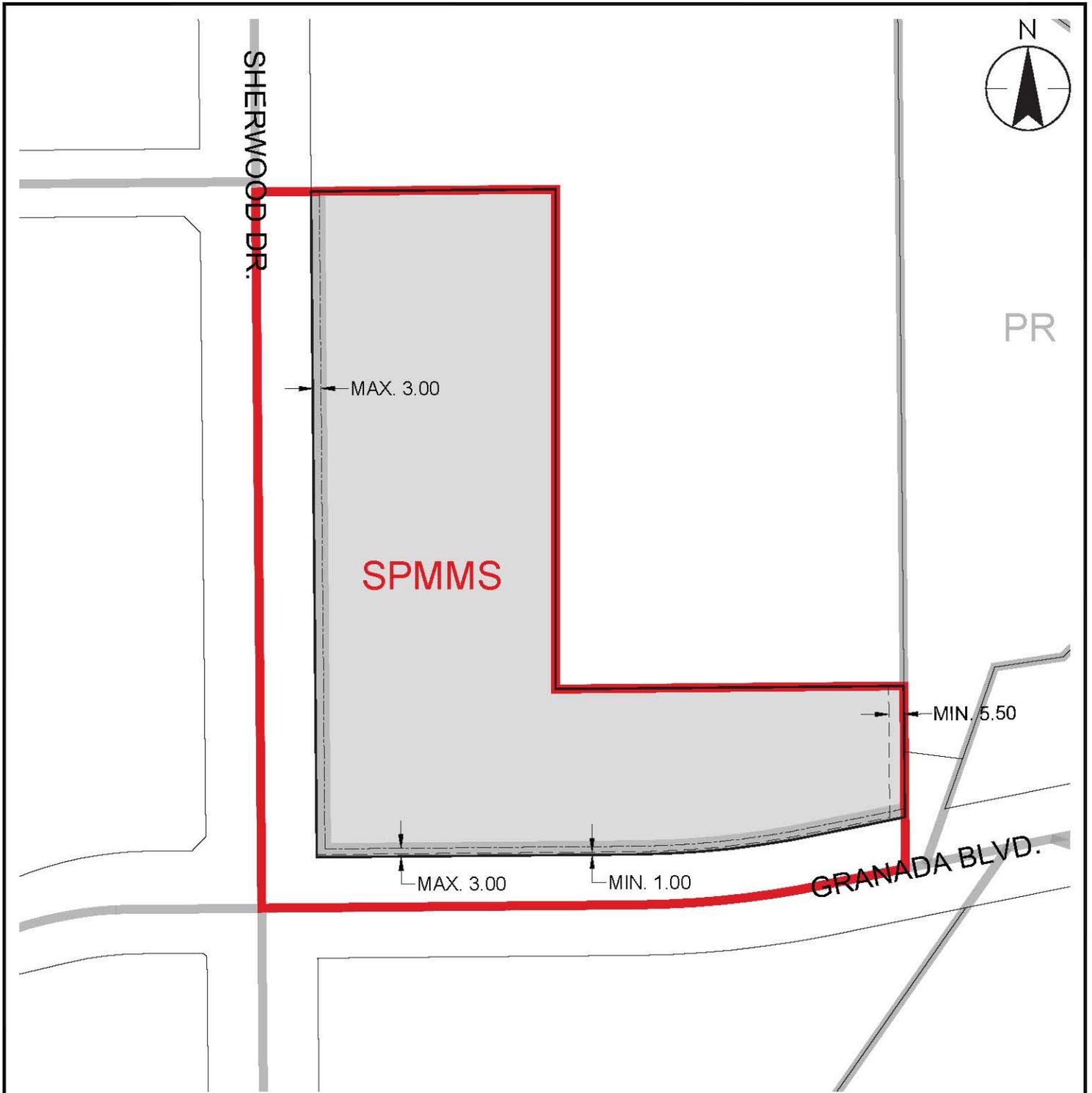
LEGEND

-  Active Transportation Infrastructure
-  Publicly Accessible Amenity Space
-  Zoning District

Note* Locations and sizes of connections and amenity spaces are approximate and will be confirmed through detailed site planning.

Figure "SPMMS"

(14) Figure "SPMMS":



SCALE NTS

ZONE	SITE BOUNDARY	MIN. BUILD-TO LINE (m)	MAX. BUILD-TO LINE (m)
	SHERWOOD DR	0.0	3.0
	GRANADA BLVD	1.0	3.0
	INTERNAL PRIVATE STREETS, ACTIVE TRANSPORTATION CONNECTION OR PUBLICLY ACCESSIBLE AMENITY SPACE	0.0	3.0
	ABUTTING PR	5.5	N/A

	BUILDING HEIGHTS (m)
STANDARD	Min. 10.0 - Max. 20.0
TRANSITION ZONE	N/A
STEPBACKS	Min. 5.0 m step back at a maximum height of 14.5 m adjacent to Sherwood Drive and Granada Blvd

Note: Location of internal private streets, active transportation connections and publicly accessible amenity spaces to be determined through detailed site planning
 Note: Heights may vary in accordance with policies

13.1.5 PP – Park Plaza Area

Area of Application

- (1) The PP area contains the area of land shown on Drawing "CITP" in section 13.1.1 that is identified as "PP". The regulations set out in this section 13.1.5 apply to the PP area.

Purpose

- (2) The purpose of this area is to provide the opportunity for existing commercial uses to remain and for future development to transition to a primarily residential area with opportunities for neighbourhood commercial uses.

Uses

- (3) Subject to any fundamental use criteria for certain uses set out below, the permitted uses and the discretionary uses for this area are:

PERMITTED USES
assisted living facility
care centre, intermediate
care centre, major
care centre, minor
congregate housing
dwelling, apartment
financial service
food service, restaurant, where there are less than 100 seats
food service, specialty, where there are less than 100 seats
health service, minor
home business, minor
home office
neighbourhood pub, where there are less than 100 seats
office
parking, non-accessory
personal service establishment
residential sales centre
retail, alcohol, where the gross floor area is less than 250 m ²
retail, cannabis, where the gross floor area is less than 250 m ²
retail, convenience, where the gross floor area is less than 250 m ²
retail, general, where the gross floor area is less than 250 m ²
retail, secondhand, where the gross floor is less than 250 m ²
senior citizen housing
veterinary service, minor

DISCRETIONARY USES

food service, restaurant, where there are equal to or greater than 100 seats
food service, specialty, where there are equal to or greater than 100 seats
neighbourhood pub, where there are equal to or greater than 100 seats
recreation, indoor
retail, alcohol, where the gross floor area is equal to or greater than 250 m²
retail, cannabis, where the gross floor area is equal to or greater than 250 m²
retail, convenience, where the gross floor area is equal to or greater than 250 m²
retail, general, where the gross floor area is equal to or greater than 250 m²
retail, secondhand, where the gross floor area is equal to or greater than 250 m²
utility service, minor
WECS, small

- (4) The fundamental use criteria for certain uses before such uses become permitted uses or discretionary uses within this area are:
- (a) where a permitted use or discretionary use listed in section 13.1.5(3) interrupts a linkage shown on Drawing "PP", then that use can only occur if it includes a linkage on the same site as the use to replace such interruption.

Development Regulations

Height

- (5) The maximum height of any building is 20.0 m.
- (6) The minimum height of any building is 10.0 m.

Stepback

- (7) A building that abuts Granada Boulevard and has a height greater than 14.5 m must have a minimum 5.0 m stepback at a maximum height of 14.5 m within any building face that abuts Granada Boulevard.

Build-To Lines

- (8) The build-to line for any building is placed:
- (a) between 3.0 m and 6.0 m from a property line that is adjacent to Granada Boulevard with outdoor amenity space, common or landscaping between the build-to line and such property line;
- (b) between 0.0 m and 3.0 m from any pedestrian infrastructure of an internal private street or from a publicly accessible amenity space with amenity space, common or landscaping between the build-to line and the internal private street or the publicly accessible amenity space;
- (c) at least 7.5 m from a property line that is adjacent to the R3 zoning district;
and

(d) at least 5.5 m from a property line that is adjacent to the PR zoning district.

Figure "PP" provides a visual representation of some of the forgoing provisions.

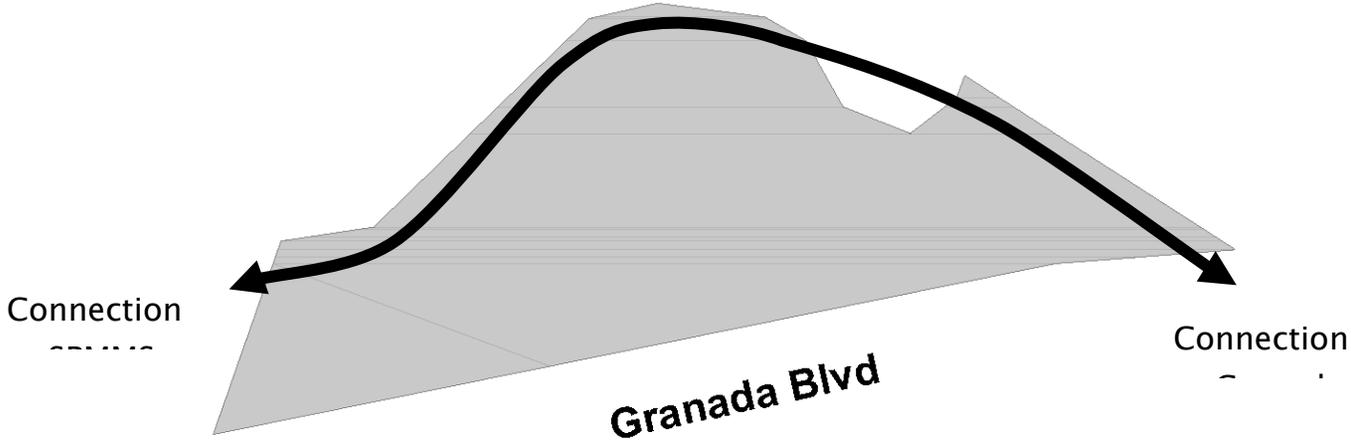
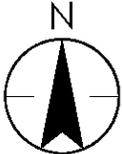
Connectivity

(9) A development must provide the active transportation infrastructure connections shown on Drawing "PP".

Drawing "PP"

(10) Drawing "PP":

Drawing "PP"



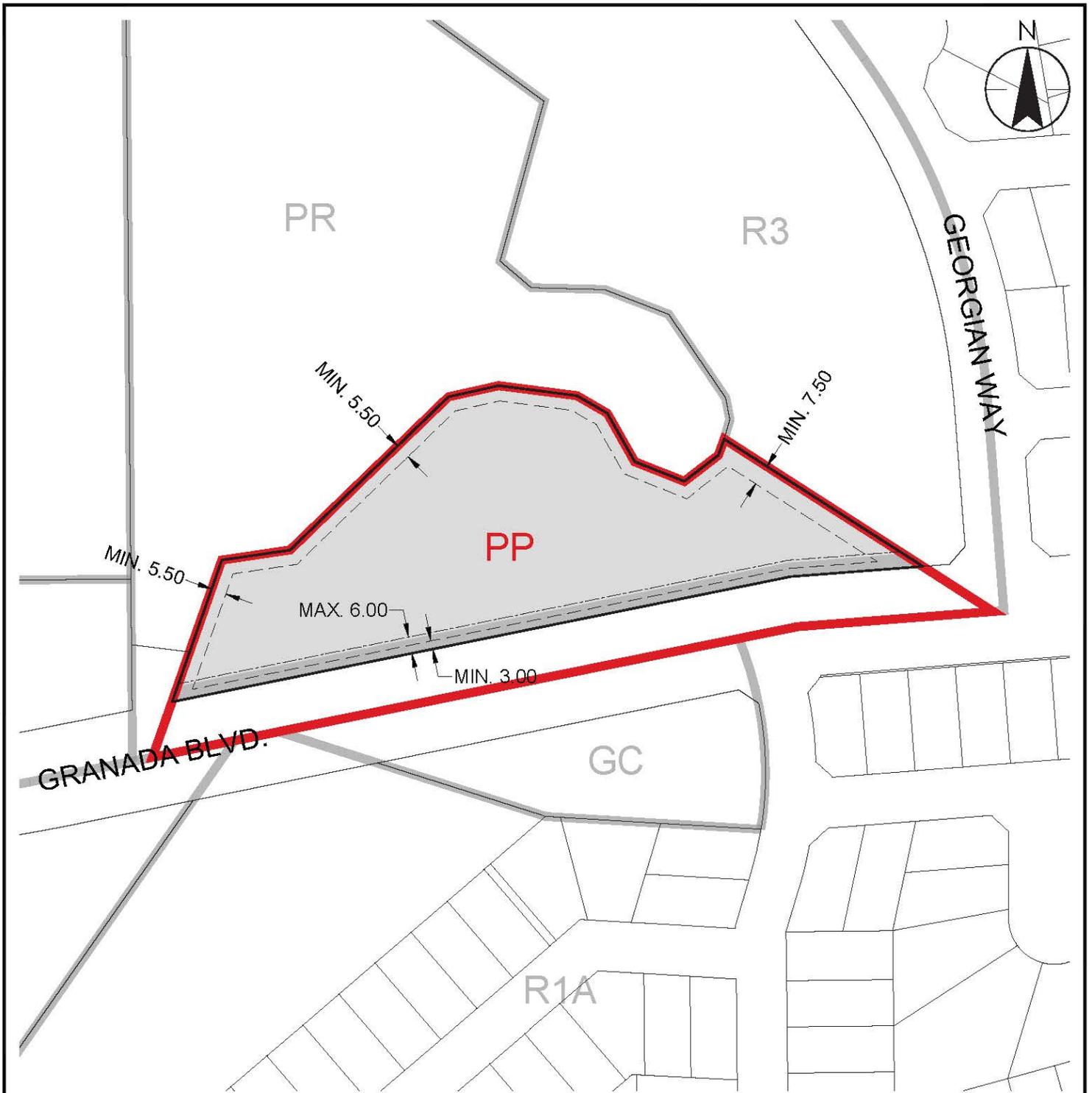
LEGEND

-  Active Transportation Infrastructure
-  Publicly Accessible Amenity Space
-  Zoning District

Note* Locations and sizes of connections and amenity spaces are approximate and will be confirmed through detailed site planning.

Figure "PP"

(11) Figure "PP":



SCALE NTS

ZONE	SITE BOUNDARY	MIN. BUILD-TO LINE (m)	MAX. BUILD-TO LINE (m)	BUILDING HEIGHTS (m)
				STANDARD Min. 10.0 - Max. 20.0
	GRANADA BLVD	3.0	6.0	TRANSITION ZONE N/A
	INTERNAL PRIVATE STREETS, ACTIVE TRANSPORTATION CONNECTION OR PUBLICLY ACCESSIBLE AMENITY SPACE	0.0	3.0	STEPBACKS Min. 5.0 m step back at a maximum height of 14.5 m adjacent to Granada Blvd
	ABUTTING R3	7.5	N/A	
	ABUTTING PR	5.5	N/A	

Note: Location of internal private streets, active transportation connections and publicly accessible amenity spaces to be determined through detailed site planning
 Note: Heights may vary in accordance with policies

13.1.6 GC – Granada Community Area

Area of Application

- (1) The GC area contains the area of land shown on Drawing "CITP" in section 13.1.1 that is identified as "GC". The regulations set out in this section 13.1.6 apply to the GC area.

Purpose

- (2) The purpose of this area is to maintain the existing church site until such time as the site is ready for redevelopment and transition to a primarily medium density residential area with opportunities for neighbourhood commercial uses.

Uses

- (3) Subject to any fundamental use criteria for certain uses set out below, the permitted uses and the discretionary uses for this area are:

PERMITTED USES

- assisted living facility
- care centre, intermediate
- care centre, minor
- congregate housing
- dwelling, multiple
- dwelling, townhouse
- health service, minor
- home business, minor
- home office
- office
- parking, non-accessory
- personal service establishment
- religious assembly, minor
- residential sales centre
- senior citizen housing

DISCRETIONARY USES

- care centre, major
- dwelling, apartment
- food service, restaurant
- food service, specialty
- neighbourhood pub
- religious assembly, major
- retail, alcohol
- retail, cannabis
- retail, convenience

retail, general
retail, secondhand
utility service, minor
WECS, small

- (4) The fundamental use criteria for certain uses before such uses become permitted uses or discretionary uses within this area are:
- (a) where a permitted use or discretionary use listed in section 13.1.6(3) interrupts a linkage shown on Drawing "GC", then that use can only occur if it includes a linkage on the same site as the use to replace such interruption.

Development Regulations

Height

- (5) The maximum height of any building is 11.5 m.

Build-To Lines

- (6) The build-to line for any building is placed:
- (a) at least 6.0 m from a property line that is adjacent to Granada Boulevard or Peacock Drive with landscaping placed between the build-to line and such property line;
- (b) between 0.0 m and 3.0 m from any pedestrian infrastructure of an internal private street or from a publicly accessible amenity space with amenity space, common or landscaping between the build-to line and the internal private street or the publicly accessible amenity space; and
- (c) at least 7.5 m from a property line that is adjacent to the R1A zoning district.

Figure "GC" provides a visual representation of some of the forgoing provisions.

Connectivity

- (7) A development must maintain the existing active transportation infrastructure connections shown on Drawing "GC".

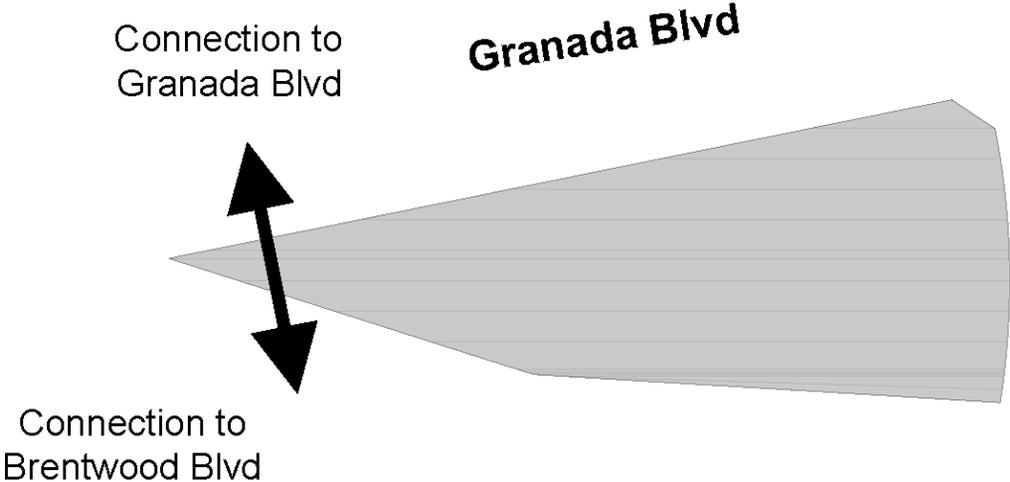
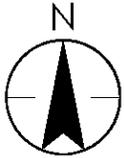
Other

- (8) Despite 13.1.1(39) non-residential uses are not required to have an entrance on to Sherwood Drive.

Drawing "GC"

- (9) Drawing "GC":

Drawing "GC"



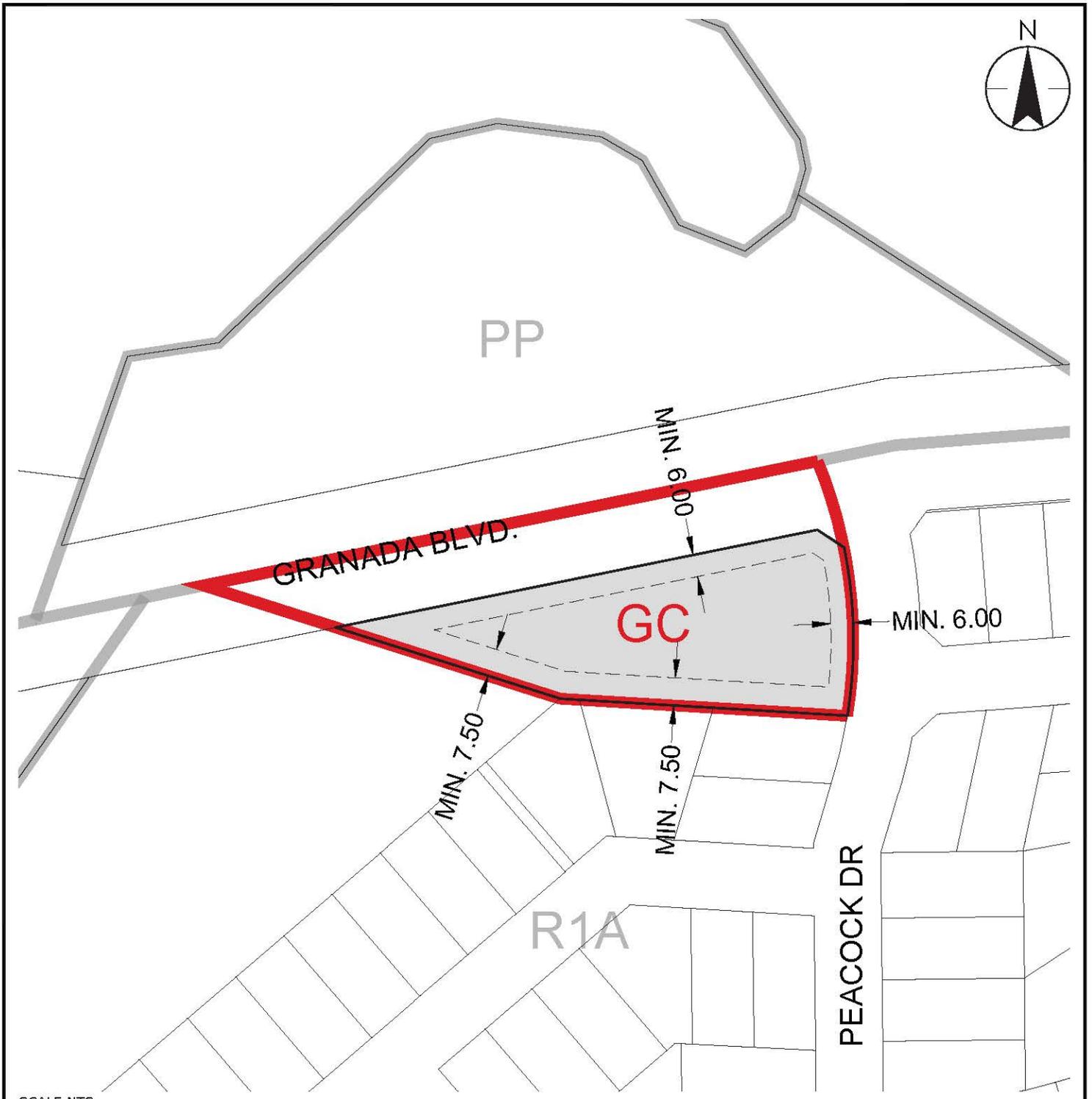
LEGEND

-  Active Transportation Infrastructure
-  Publicly Accessible Amenity Space
-  Zoning District

Note* Locations and sizes of connections and amenity spaces are approximate and will be confirmed through detailed site planning.

Figure "GC"

(10) Figure "GC":



SCALE NTS

ZONE	SITE BOUNDARY	MIN. BUILD-TO LINE (m)	MAX. BUILD-TO LINE (m)		BUILDING HEIGHTS (m)
		-----	-----	STANDARD	Max. 11.5
	GRANADA BLVD	6.0	N/A	TRANSITION ZONE	N/A
	PEACOCK DR.	6.0	N/A	STEPBACKS	N/A
	INTERNAL PRIVATE STREETS, ACTIVE TRANSPORTATION CONNECTION OR PUBLICLY ACCESSIBLE AMENITY SPACE	3.0 down to 0.0 where active frontage	N/A		
	ABUTTING R1A	7.5	N/A		

Note: Location of internal private streets, active transportation connections and publicly accessible amenity spaces to be determined through detailed site planning

Note: Heights may vary in accordance with policies

13.1.7 PCH – Park Centre Hotel Area

Area of Application

- (1) The PCH area contains the area of land shown on Drawing "CITP" in section 13.1.1 that is identified as "PCH". The regulations set out in this section 13.1.7 apply to the PCH area.

Purpose

- (2) The purpose of this area is to facilitate the redevelopment of the existing hotel to provide for a mixed-use area with opportunities for commercial uses and residential uses.

Uses

- (3) Subject to any fundamental use criteria for certain uses set out below, the permitted uses and the discretionary uses for this area are:

PERMITTED USES
assisted living facility
care centre, intermediate
care centre, major
care centre, minor
commercial school
congregate housing
cultural/entertainment facility
dwelling, apartment, where it is not located on the first storey of a building fronting onto Sherwood Drive or Granada Boulevard
financial service
food service, restaurant, where there are less than 100 seats
food service, specialty, where there are less than 100 seats
government service
health service, minor
home business, minor
home office
hotel
library and exhibit
neighbourhood pub, where there are less than 100 seats
office
parking, non-accessory
personal service establishment
private club
recreation, indoor
residential sales centre
retail, alcohol, where the gross floor area is less than 250 m ²
retail, cannabis, where the gross floor area is less than 250 m ²

retail, convenience, where the gross floor is less than 250 m²
retail, general, where the gross floor area is less than 250 m²
retail, secondhand, where the gross floor is less than 250 m²
senior citizen housing
veterinary service, minor

DISCRETIONARY USES

amusement centre
animal grooming and care
emergency service, where the gross floor area is less than 2000 m²
exhibition and convention facility, where the gross floor area is less than 2000 m²
food service, restaurant, where there are equal to or greater than 100 seats
food service, specialty, where there are equal to or greater than 100 seats
health service, major
neighbourhood pub, where there equal to or greater than 100 seats
religious assembly, minor, where it does not front onto Sherwood Drive or Granada Boulevard
retail, alcohol, where the gross floor area is equal to or greater than 250 m²
retail, cannabis, where the gross floor area is equal to or greater than 250 m²
retail, convenience, where the gross floor area is equal to or greater than 250 m²
retail, general, where the gross floor area is equal to or greater than 250 m²
retail, secondhand, where the gross floor area is equal to or greater than 250 m²
service station, minor, where located on plan 8921558, block 66, lot 1
utility service, minor, where it does not front onto Sherwood Drive or Granada Boulevard
WECS, small

- (4) The fundamental use criteria for certain uses before such uses become permitted uses or discretionary uses within this area are:
- (a) where a permitted use or discretionary use listed in section 13.1.7(3) interrupts a linkage shown on Drawing "PCH", then that use can only occur if it includes a linkage on the same site as the use to replace such interruption.

Development Regulations

Height

- (5) The maximum height of any building is 40.0 m.
- (6) The minimum height of any building is 11.5 m.

Stepback

- (7) A building that abuts Sherwood Drive or Granada Boulevard and has a height greater than 14.5 m must have a minimum 5.0 m stepback at a maximum height of 14.5 m within any building face that abuts Sherwood Drive or Granada Boulevard.

Build-To Lines

- (8) The build-to line for any building is placed:
- (a) between 0.0 m and 3.0 m from a property line that is adjacent to Sherwood Drive with outdoor amenity space, common or landscaping between the build-to line and such property line;
 - (b) between 1.0 m and 3.0 m from a property line that is adjacent to Granada Boulevard with outdoor amenity space, common or landscaping between the build-to line and such property line;
 - (c) between 0.0 m and 3.0 m from any pedestrian infrastructure of an internal private street or from a publicly accessible amenity space with amenity space, common or landscaping between the build-to line and the internal private street or the publicly accessible amenity space; and
 - (d) at least 3.0 m from a property line that is adjacent to the RIA zoning district.

Figure "PCH" provides a visual representation of some of the forgoing provisions.

Publicly Accessible Amenity Space

- (9) Where a building face contains a public entrance that faces towards an abutting R1A zoning district, the development must provide a publicly accessible amenity space that:
- (a) is located between the build-to line and the boundary of the R1A zoning district; and
 - (b) has an active transportation infrastructure connection to Granada Boulevard, Sherwood Drive, and the adjacent greenway.

Connectivity

- (10) A development must provide the active transportation infrastructure connections shown on Drawing "PCH".

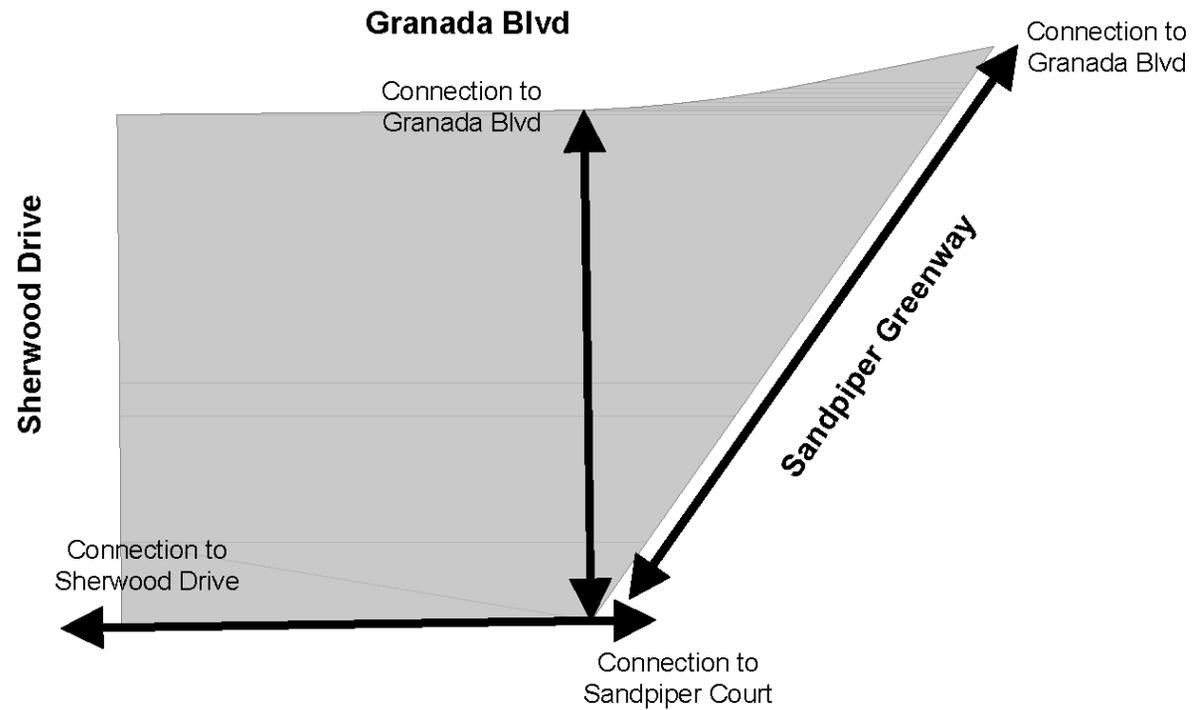
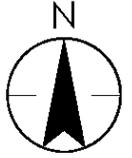
Other

- (11) Any contiguous building frontage must not exceed 100.0 m.
- (12) Any entryways and display windows of a building should cover a minimum of 30 % of the first storey of any building face located beside Sherwood Drive or Granada Boulevard.

Drawing "PCH"

- (13) Drawing "PCH":

Drawing "PCH"



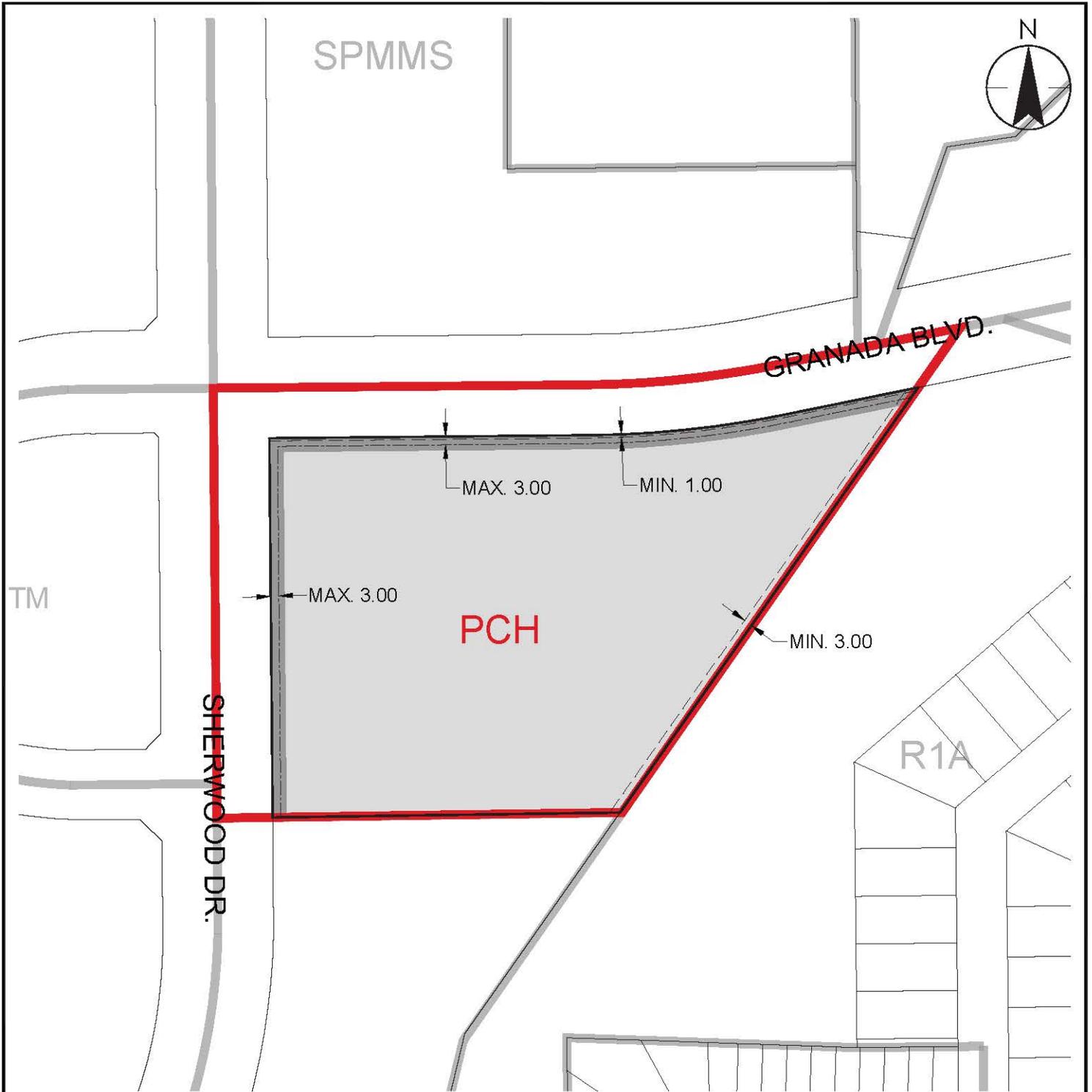
LEGEND

- Active Transportation Infrastructure
- Publicly Accessible Amenity Space
- Zoning District

Note* Locations and sizes of connections and amenity spaces are approximate and will be confirmed through detailed site planning.

Figure "PCH"

(14) Figure "PCH":



SCALE NTS

ZONE	SITE BOUNDARY	MIN. BUILD-TO LINE (m)	MAX. BUILD-TO LINE (m)
		---	---
	GRANADA BLVD	1.0	3.0
	SHERWOOD DR	0.0	3.0
	INTERNAL PRIVATE STREETS, ACTIVE TRANSPORTATION CONNECTION OR PUBLICLY ACCESSIBLE AMENITY SPACE	0.0	3.0
	ABUTTING R1A	3.0	N/A

	BUILDING HEIGHTS (m)
STANDARD	Min. 11.5 - Max. 40.0
TRANSITION ZONE	N/A
STEPBACKS	Min. 5.0 m step back at a maximum height of 14.5 m adjacent to Sherwood Drive and Granada Blvd

Note: Location of internal private streets, active transportation connections and publicly accessible amenity spaces to be determined through detailed site planning
 Note: Heights may vary in accordance with policies

13.1.8 SDC – Sherwood Drive Commercial Area

Area of Application

- (1) The SDC area contains the area of land shown on Drawing "CITP" in section 13.1.1 that is identified as "SDC". The regulations set out in this section 13.1.8 apply to the SDC area.

Purpose

- (2) The purpose of this area is to facilitate the existing commercial uses until redevelopment of the site as a mixed-use development with street oriented commercial uses and residential uses.

Uses

- (3) Subject to any fundamental use criteria for certain uses set out below, the permitted uses and the discretionary uses for this area are:

PERMITTED USES
assisted living facility
care centre, intermediate
care centre, major
care centre, minor
commercial school
congregate housing
cultural/entertainment facility
dwelling, apartment
financial service
food service, restaurant, where there are less than 100 seats
food service, specialty, where there are less than 100 seats
government service
health service, minor
home business, minor
home office
hotel
library and exhibit
neighbourhood pub, where there are less than 100 seats
office
parking, non-accessory
personal service establishment
recreation, indoor
residential sales centre
retail, alcohol, where the gross floor area is less than 250 m ²
retail, cannabis, where the gross floor area is less than 250 m ²
retail, convenience, where the gross floor area is less than 250 m ²
retail, general, where the gross floor area is less than 250 m ²

retail, secondhand, where the gross floor area is less than 250 m²
senior citizen housing
veterinary service, minor

DISCRETIONARY USES

amusement centre
animal grooming and care
emergency service
exhibition and convention facility
food service, restaurant, where there are equal to or greater than 100 seats
food service, specialty, where there are equal to or greater than 100 seats
health service, major
neighbourhood pub, where there are equal to or greater than 100 seats
religious assembly, minor
retail, alcohol, where the gross floor area is equal to or greater than 250 m²
retail, cannabis, where the gross floor area is equal to or greater than 250 m²
retail, convenience, where the gross floor area is equal to or greater than 250 m²
retail, general, where the gross floor area is equal to or greater than 250 m²
retail, secondhand, where the gross floor area is equal to or greater than 250 m²
service station, minor, where located on Plan 2889TR, Lot F, Plan 4266RD, Lot E and Plan 1955RS, Lot C
utility service, minor
WECS, small

- (4) The fundamental use criteria for certain uses before such uses become permitted uses or discretionary uses within this area are:
- (a) where a permitted use or discretionary use listed in section 13.1.8(3) interrupts a linkage shown on Drawing "SDC", then that use can only occur if it includes a linkage on the same site as the use to replace such interruption.

Development Regulations

Height

- (5) The maximum height of any building is 40.0 m.
- (6) The minimum height of any building is 11.5 m.

Stepback

- (7) A building that abuts Sherwood Drive or Brentwood Boulevard and has a height greater than 14.5 m must have a minimum 5.0 m stepback at a maximum height of 14.5 m within any building face that abuts Sherwood Drive or Brentwood Boulevard.

Build-To lines

- (8) The build-to line for any building is placed:
- (a) between 3.0 m and 6.0 m from a property line that is adjacent to Sherwood Drive or Brentwood Boulevard with outdoor amenity space, common or landscaping between the build-to line and such property line;
 - (b) between 0.0 m and 3.0 m from any pedestrian infrastructure of an internal private street or from a publicly accessible amenity space with amenity space, common or landscaping between the build-to line and the internal private street or the publicly accessible amenity space; and
 - (c) at least 3.0 m from a property line that is adjacent to the R1A zoning district.

Figure "SDC" provides a visual representation of some of the forgoing provisions.

Publicly Accessible Amenity Space

- (9) Where a building face contains a public entrance that faces towards an abutting R1A zoning district, the development must provide a publicly accessible amenity space that:
- (a) is located between the build-to line and the boundary of the R1A zoning district; and
 - (b) has an active transportation infrastructure connection to Sherwood Drive and the adjacent greenway.

Connectivity

- (10) A development must provide the active transportation infrastructure connections shown on Drawing "SDC".

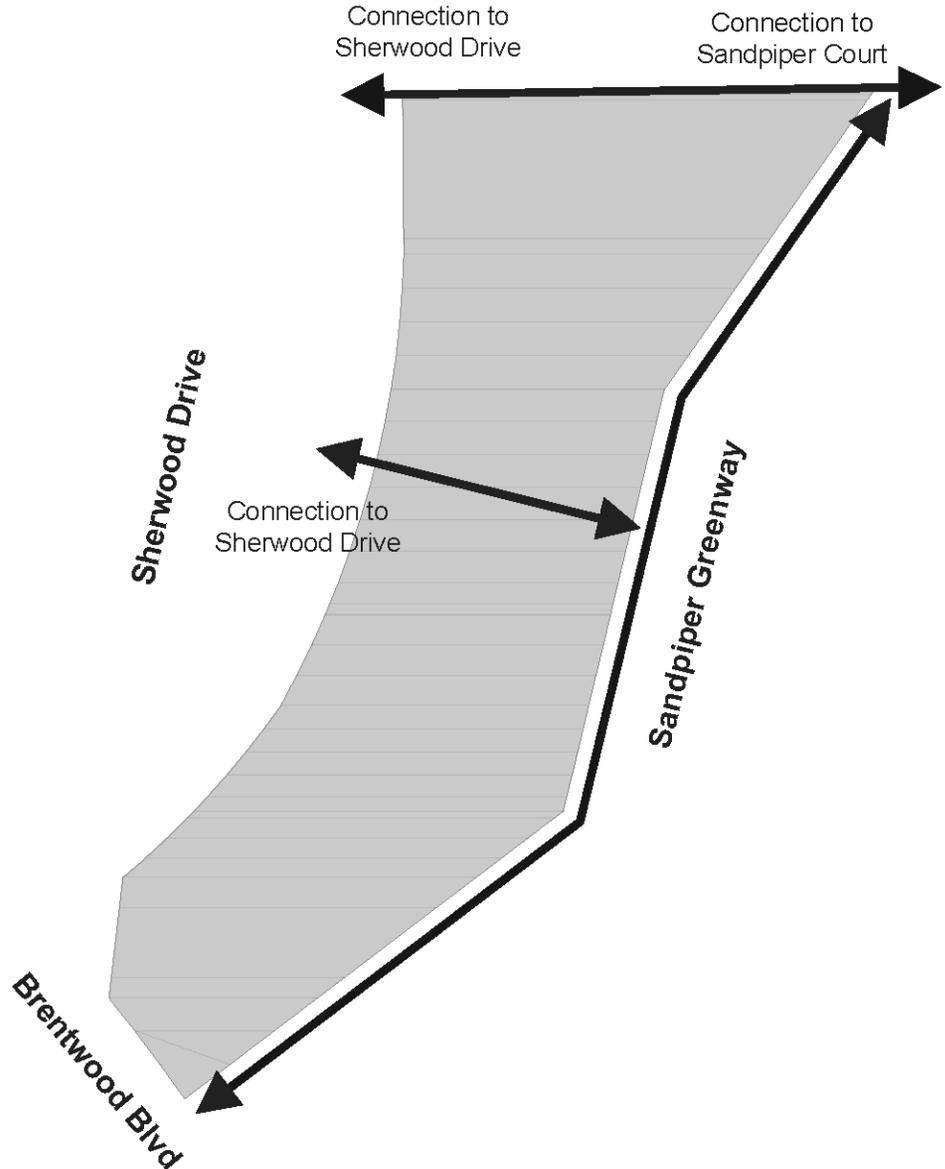
Other

- (11) The site plan for a development that is to be submitted as part of an application for a development permit in accordance with this bylaw must incorporate the removal of the existing service road located off Sherwood Drive.

Drawing "SDC"

- (12) Drawing "SDC":

Drawing "SDC"



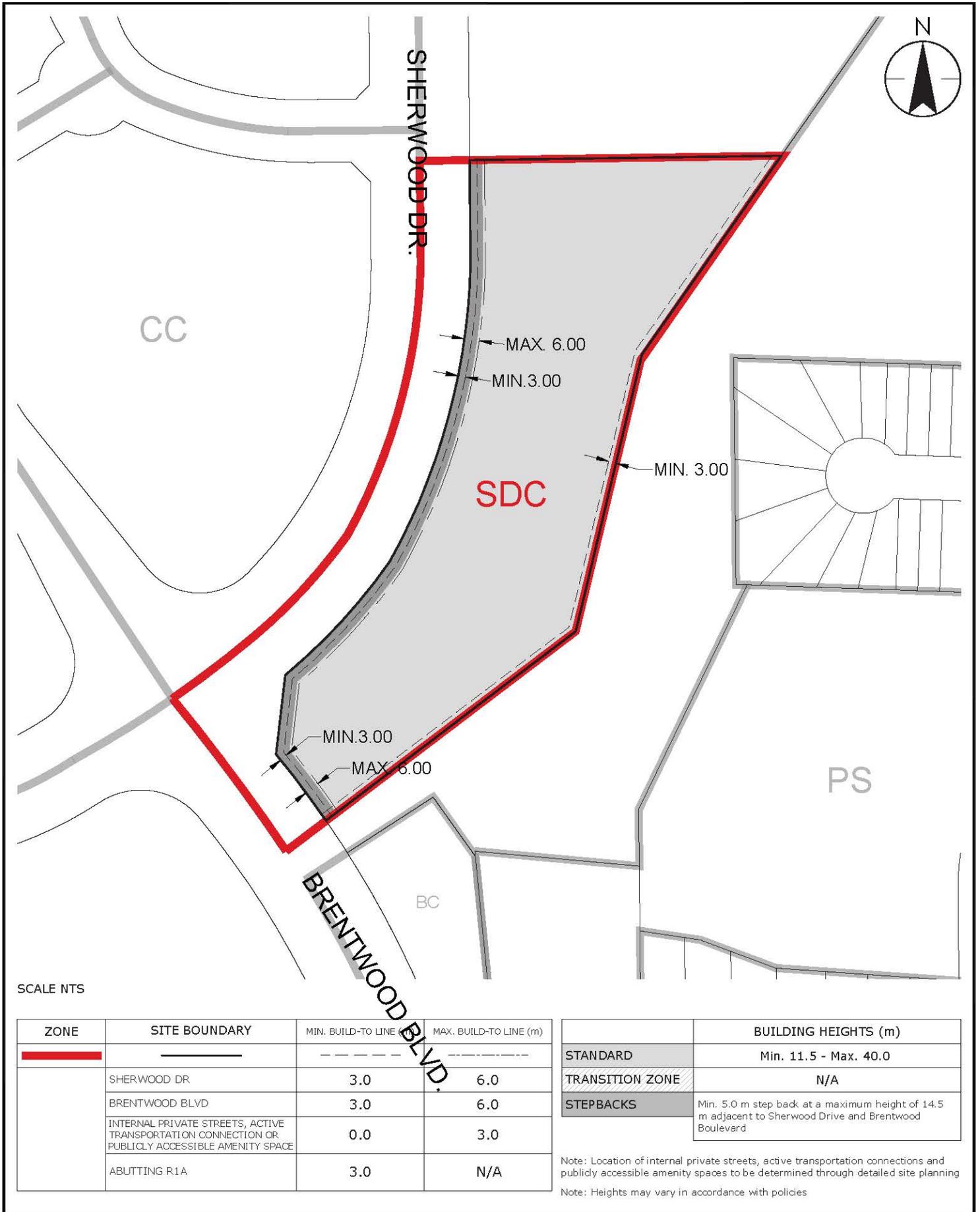
LEGEND

-  Active Transportation Infrastructure
-  Publicly Accessible Amenity Space
-  Zoning District

Note* Locations and sizes of connections and amenity spaces are approximate and will be confirmed through detailed site planning.

Figure "SDC"

(13) Figure "SDC":



13.1.9 BC – Brentwood Community Area

Area of Application

- (1) The BC area contains the area of land shown on Drawing "CITP" in section 13.1.1 that is identified as "BC". The regulations set out in this section 13.1.9 apply to the BC area.

Purpose

- (2) The purpose of this area is to facilitate the existing commercial uses until redevelopment of the site as institutional, commercial, residential or mixed-use development.

Uses

- (3) Subject to any fundamental use criteria for certain uses set out below, the permitted uses and the discretionary uses for this area are:

PERMITTED USES
assisted living facility
care centre, intermediate
care centre, major
care centre, minor
congregate housing
dwelling, apartment
dwelling, multiple
financial service
food service, restaurant, where there are less than 100 seats
food service, specialty, where there are less than 100 seats
health service, minor
home business, minor
home office
neighbourhood pub, where there are less than 100 seats
office
parking, non-accessory
personal service establishment
residential sales centre
retail, alcohol, where the gross floor area is less than 250 m ²
retail, cannabis, where the gross floor area is less than 250 m ²
retail, convenience, where the gross floor area is less than 250 m ²
retail, general, where the gross floor area is less than 250 m ²

retail, secondhand, where the gross floor area is less than 250 m²

senior citizen housing

DISCRETIONARY USES

food service, restaurant, where there are equal to or greater than 100 seats

food service, specialty, where there are equal to or greater than 100 seats

neighbourhood pub, where there are equal to or greater than 100 seats

recreation, indoor

retail, alcohol, where the gross floor area is equal to or greater than 250 m²

retail, cannabis, where the gross floor area is equal to or greater than 250 m²

retail, convenience, where the gross floor area is equal to or greater than 250 m²

retail, general, where the gross floor area is equal to or greater than 250 m²

retail, secondhand, where the gross floor area is equal to or greater than 250 m²

utility service, minor

- (4) The fundamental use criteria for certain uses before such uses become permitted uses or discretionary uses within this area are:
- (a) where a permitted use or discretionary use listed in section 13.1.9(3) interrupts a linkage shown on Drawing "BC", then that use can only occur if it includes a linkage on the same site as the use to replace such interruption.

Development Regulation

Height

- (5) The maximum height of any building will be 14.5 m.

Build-To Lines

- (6) The build-to line for any building is placed:
- (a) between 3.0 m and 6.0 m from a property line that is adjacent to Brentwood Boulevard with outdoor amenity space, common or landscaping between the build-to line and such property line;
- (b) between 0.0 m and 3.0 m from any pedestrian infrastructure of an internal private street or from a publicly accessible amenity space with amenity space, common or landscaping between the build-to line and the internal private street or the publicly accessible amenity space;
- (c) at least 3.0 m from a property line that is adjacent to the R1A zoning district;
- (d) at least 5.5 m from a property line that is adjacent to the PS zoning district; and
- (e) at least 6.0 m from a property line that is adjacent to Raven Drive.

Figure "BC" provides a visual representation of some of the forgoing provisions

Connectivity

- (7) A development must provide the active transportation infrastructure connections shown on Drawing "BC".

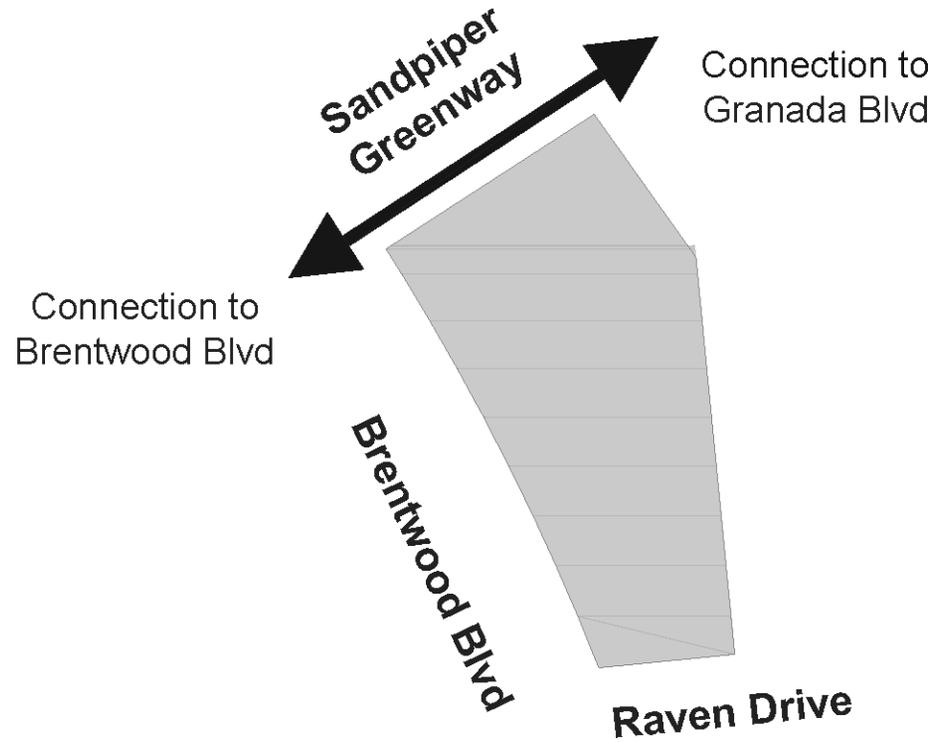
Other

- (8) Despite 13.1.1(39) non-residential uses are not required to have an entrance on to Raven Drive.

Drawing "BC"

- (9) Drawing "BC":

Drawing "BC"



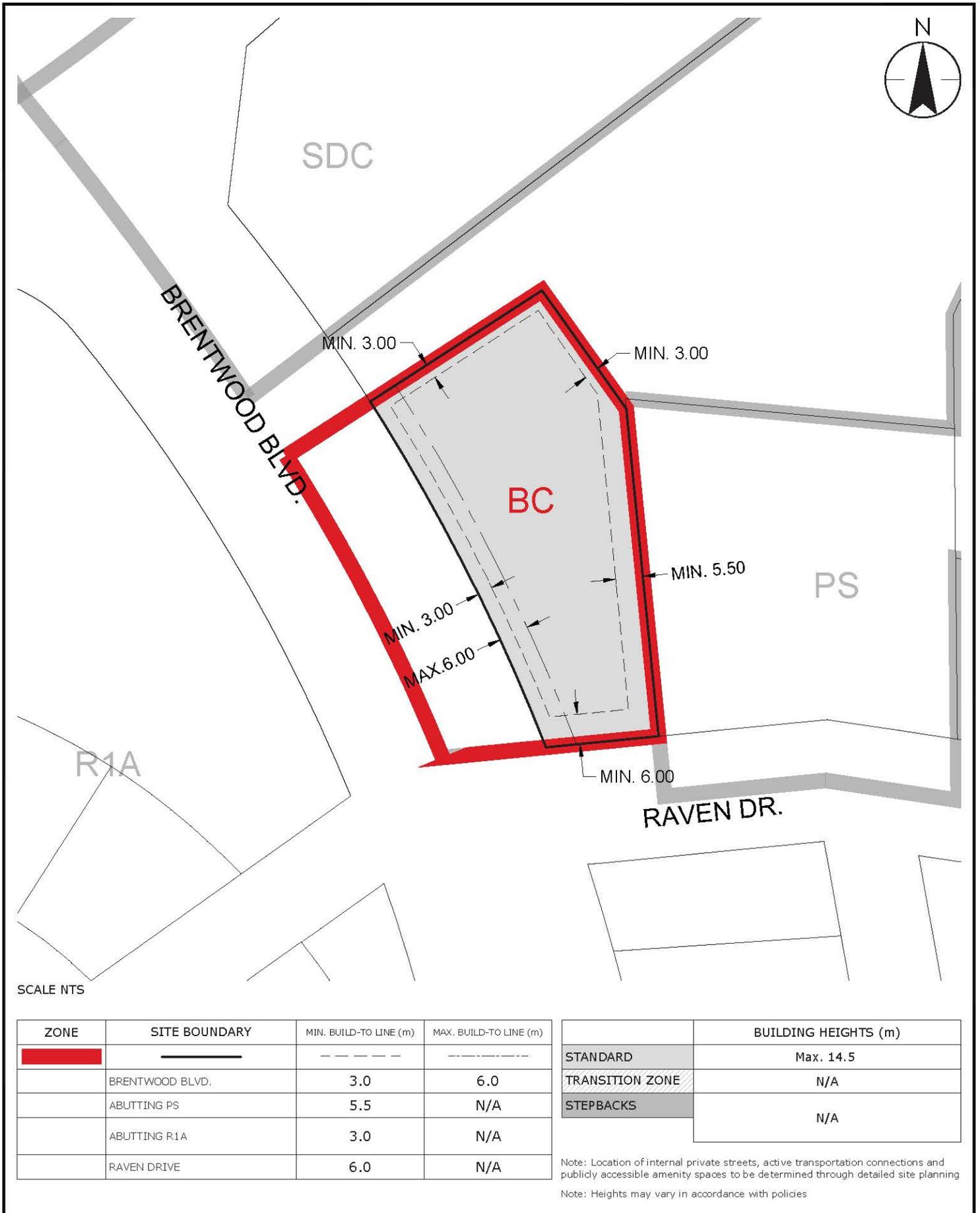
LEGEND

-  Active Transportation Infrastructure
-  Publicly Accessible Amenity Space
-  Zoning District

Note* Locations and sizes of connections and amenity spaces are approximate and will be confirmed through detailed site planning.

Figure "BC"

(10) Figure "BC":



13.1.10 ST – St. Theresa Area

Area of Application

- (1) The ST area contains the area of land shown on Drawing "CITP" in section 13.1.1 that is identified as "ST". The regulations set out in this section 13.1.10 apply to the ST area.

Purpose

- (2) The purpose of this area is to maximize the potential for partnerships between the County and other agencies to enable the creation of a community campus including an education facility and a multitude of compatible uses.

Uses

- (3) Subject to any fundamental use criteria for certain uses set out below, the permitted uses and the discretionary uses for this area are:

PERMITTED USES
assisted living facility
care centre, intermediate
care centre, major
care centre, minor
commercial school
congregate housing
cultural/entertainment facility
dwelling, apartment, where it is not located on the first storey of a building fronting onto Sherwood Drive or Granada Boulevard
education, private, where access is located off: (1) Festival Way; (2) Brentwood Boulevard; or (3) Oak Street
education, public, where access is located off: (1) Festival Way; (2) Brentwood Boulevard; or (3) Oak Street
financial service
food service, restaurant, where there are less than 100 seats
food service, specialty, where there are less than 100 seats
government service
health service, minor
home business, minor
home office
hotel
library and exhibit
neighbourhood pub, where there are less than 100 seats
office

parking, non-accessory
 personal service establishment
 private club
 recreation, community
 recreation, indoor
 recreation, outdoor
 residential sales centre
 religious assembly, minor, where it does not front onto Sherwood Drive
 retail, convenience, where the gross floor area is less than 250 m²
 retail, general, where the gross floor area is less than 250 m²
 retail, secondhand, where the gross floor area is less than 250 m²
 senior citizen housing
 utility service, minor
 veterinary service, minor

DISCRETIONARY USES

amusement centre
 animal grooming and care
 emergency service
 exhibition and convention facility
 food service, restaurant, where there are equal to or greater than 100 seats
 food service, specialty, where there are equal to or greater than 100 seats
 health service, major
 neighbourhood pub, where there are equal to or greater than 100 seats
 religious assembly, major
 religious assembly, minor, where it fronts onto Sherwood Drive
 retail, convenience, where the gross floor area is equal to or greater than 250 m²
 retail, general, where the gross floor area is equal to or greater than 250 m²
 retail, secondhand, where the gross floor area is equal to or greater than 250 m²
 utility service, minor
 WECS, small

- (4) The fundamental use criteria for certain uses before such uses become permitted uses or discretionary uses within this area are:
 - (a) a permitted use or a discretionary use listed in section 13.1.10(3) can only occur where an education, public or education, private exists within the ST area.

Development Regulation

Height

- (5) The maximum height of any building is:
 - (a) 20.0 m where no community housing units are provided; or
 - (b) 40.0 m where community housing units are provided within at least 5 % of the gross floor area located above 20.0 m.
- (6) The minimum height of any building is 10.0 m.

Stepback

- (7) A building that abuts Sherwood Drive or Festival Way east of the intersection of Festival Way and Festival Avenue and has a height greater than 14.5 m must have a minimum 5.0 m stepback at a maximum height of 14.5 m within any building face that abuts Sherwood Drive or Festival Way.
- (8) A building that abuts Oak Street and has a height greater than 20.0 m must have a minimum 5.0 m stepback at a maximum height of 20.0 m within any building face that abuts Oak Street.

Build-To Lines

- (9) The build-to line for any building is placed:
 - (a) between 0.0 m and 3.0 m from a property line that is adjacent to Sherwood Drive with outdoor amenity space, common or landscaping between the build-to line and such property line;
 - (b) between 0.0 m and 3.0 m from a property line that is adjacent to Festival Way and east of the intersection of Festival Way and Festival Avenue with outdoor amenity space, common or landscaping between the build-to line and such property line;
 - (c) between 0.0 m and 3.0 m from any pedestrian infrastructure of an internal private street or from a publicly accessible amenity space with amenity space, common or landscaping between the build-to line and the internal private street or the publicly accessible amenity space;
 - (d) at least 3.0 m from a property line that is adjacent to Oak Street;
 - (e) at least 6.0 m from a property line that is adjacent to the Festival Way and west of the intersection of Festival Way and Festival Avenue; and
 - (f) at least 6.0 m from a property line that is adjacent to Brentwood Boulevard.

Figure "ST" provides a visual representation of some of the forgoing provisions.

Publicly Accessible Amenity Space

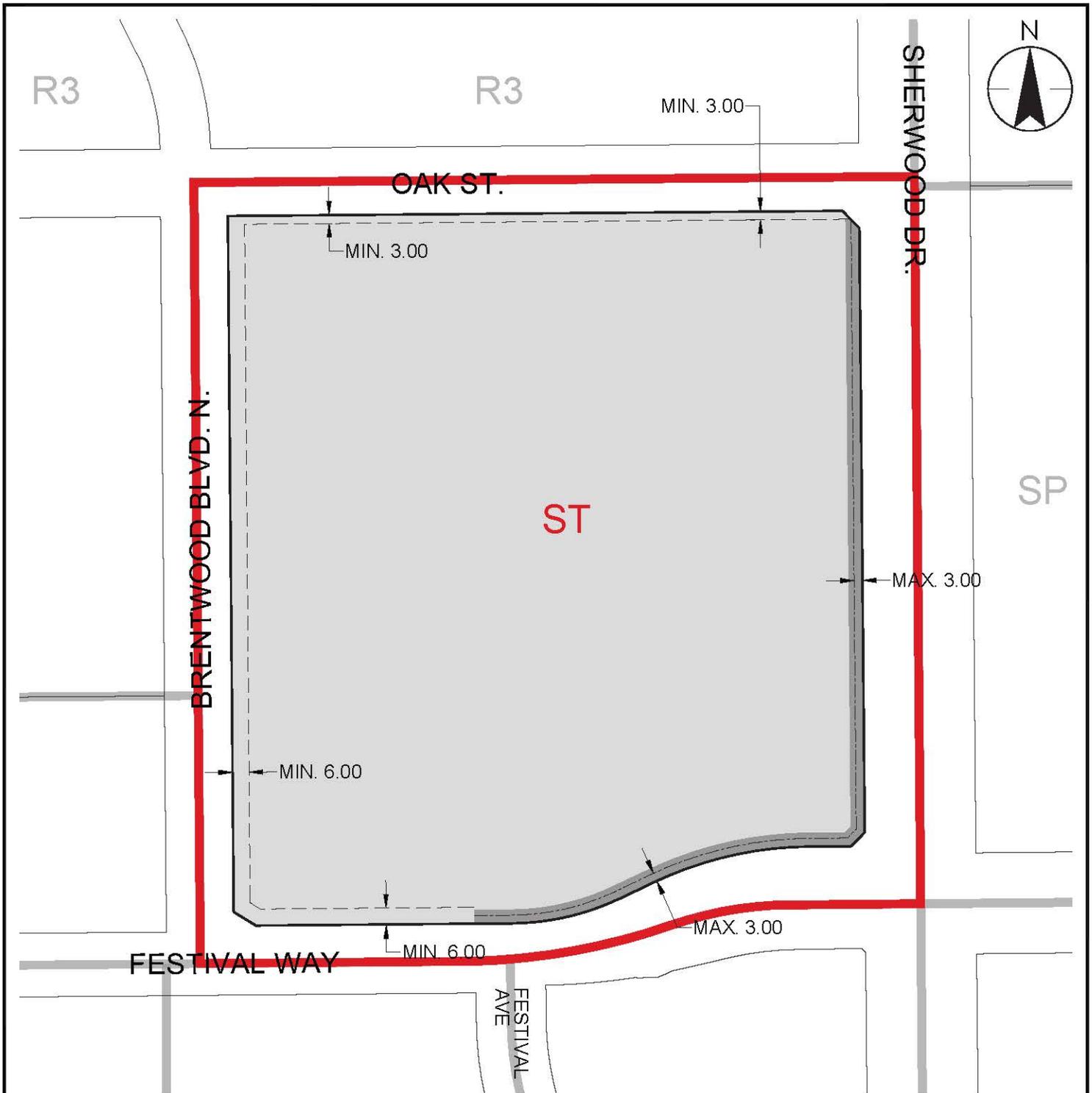
- (10) A development must provide a publicly accessible amenity space with a landmark feature at the intersection of Sherwood Drive and Granada Boulevard.

Other

- (11) Any contiguous building frontage for a building located on a lot that abuts Sherwood Drive must not exceed 100.0 m.
- (12) Any entryways and display windows of a building should cover a minimum 30 % of the first storey of any building face located beside Sherwood Drive.
- (13) Despite 13.1.1(39) non-residential uses are not required to have an entrance onto Oak Street or Brentwood Boulevard.

Figure "ST"

(14) Figure "ST":



SCALE NTS

ZONE	SITE BOUNDARY	MIN. BUILD-TO LINE (m)	MAX. BUILD-TO LINE (m)
		---	---
	OAK STREET (WITHIN 100-m OF SHERWOOD DRIVE)	3.0	6.0
	OAK STREET (MORE THAN 100-m FROM SHERWOOD DRIVE)	3.0	N/A
	SHERWOOD DRIVE	0.0	3.0
	FESTIVAL WAY (EAST OF THE INTERSECTION OF FESTIVAL WAY AND FESTIVAL AVE)	0.0	3.0
	FESTIVAL WAY (WEST OF THE INTERSECTION OF FESTIVAL WAY AND FESTIVAL AVE)	6.0	N/A
	BRENTWOOD BLVD	6.0	N/A
	INTERNAL PRIVATE STREETS, ACTIVE TRANSPORTATION CONNECTION OR PUBLICLY ACCESSIBLE AMENITY SPACE	0.0	3.0

	BUILDING HEIGHTS (m)
STANDARD	Min. 10.0 - Max. 20.0
TRANSITION ZONE	N/A
STEPBACKS	Min. 5.0 m step back at a maximum height of 14.5 m adjacent to Sherwood Drive and Festival Way.

Note: Location of internal private streets, active transportation connections and publicly accessible amenity spaces to be determined through detailed site planning

Note: Heights may vary in accordance with policies

13.1.11 SC – Sherwood Care Area

Area of Application

- (1) The SC area contains the area of land shown on Drawing "CITP" in section 13.1.1 that is identified as "SC". The regulations set out in this section 13.1.11 apply to the SC area.

Purpose

- (2) The purpose of this area is facilitating the continued use of the existing long term care facility and opportunities for supporting uses or expansions.

Uses

- (3) Subject to any fundamental use criteria for certain uses set out below, the permitted uses and the discretionary uses for this area are:

PERMITTED USES
assisted living facility
care centre, intermediate
care centre, major
care centre, minor
congregate housing
food service, restaurant, where there are less than 100 seats
food service, specialty, where there are less than 100 seats
health service, minor
home business, minor
home office
office
parking, non-accessory
personal service establishment, where the gross floor area is less than 250 m ²
retail, convenience, where the gross floor area is less than 250 m ²
retail, general, where the gross floor area is less than 250 m ²
retail, secondhand, where the gross floor area is less than 250 m ²
senior citizen housing

DISCRETIONARY USES

dwelling, apartment

recreation, indoor

religious assembly, minor

residential sales centre

utility service, minor

WECS, small

- (4) The fundamental use criteria for certain uses before such uses become permitted uses or discretionary uses within this area are:
- (a) where a permitted use or discretionary use listed in section 13.1.11(3) interrupts a linkage shown on Drawing "SC", then that use can only occur if it includes a linkage on the same site as the use to replace such interruption; and
 - (b) a permitted use or a discretionary use listed in section 13.1.11(3) that is a commercial use can only occur where it fronts onto Festival Way and is on the first storey of a mixed-use building.

Development Regulation

Height

- (5) The maximum height of any building is 20.0 m or six storeys.
- (6) The minimum height of any building is 10.0 m.

Build-To Lines

- (7) The build-to line for any building is placed:
- (a) between 0.0 m and 4.0 m from a property line that is adjacent to Festival Way with outdoor amenity space, common or landscaping between the build-to line and such property line;
 - (b) between 0.0 m and 3.0 m from any pedestrian infrastructure of an internal private street or from a publicly accessible amenity space with amenity space, common or landscaping between the build-to line and the internal private street or the publicly accessible amenity space;
 - (c) at least 3.0 m from a property line that is adjacent to the BL Area;
 - (d) at least 6.0 m from a property line that is adjacent to Brentwood Boulevard; and
 - (e) at least 7.5 m from a property line that is adjacent to the R3 zoning district.

Figure "SC" provides a visual representation of some of the forgoing provisions.

Publicly Accessible Amenity Space

- (8) Where a building face contains a public entrance and that faces towards the BL Area, the development must provide a publicly accessible amenity space that:
- (a) is located between the build-to line and the boundary of the BL Area; and
 - (b) has an active transportation infrastructure connection to the BL Area.

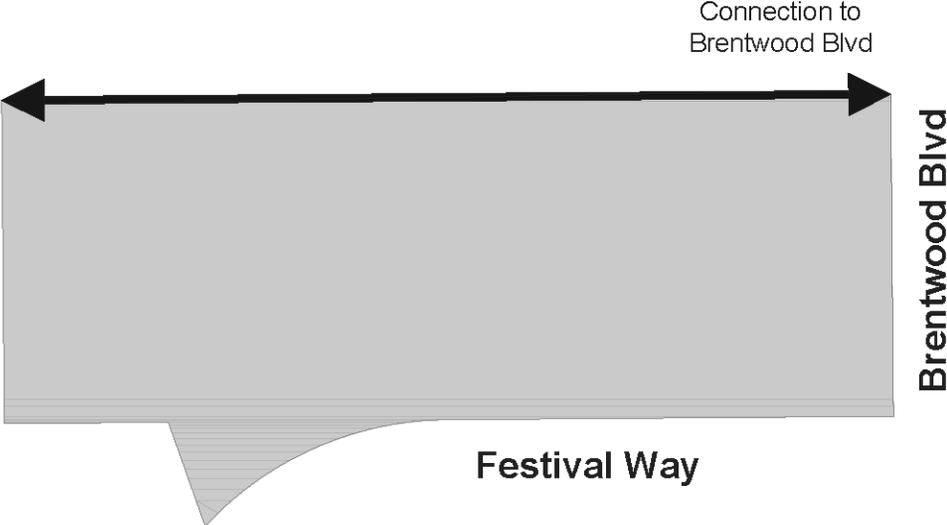
Connectivity

- (9) A development must provide the active transportation infrastructure connections shown on Drawing "SC".

Drawing "SC"

- (10) Drawing "SC":

Drawing "SC"



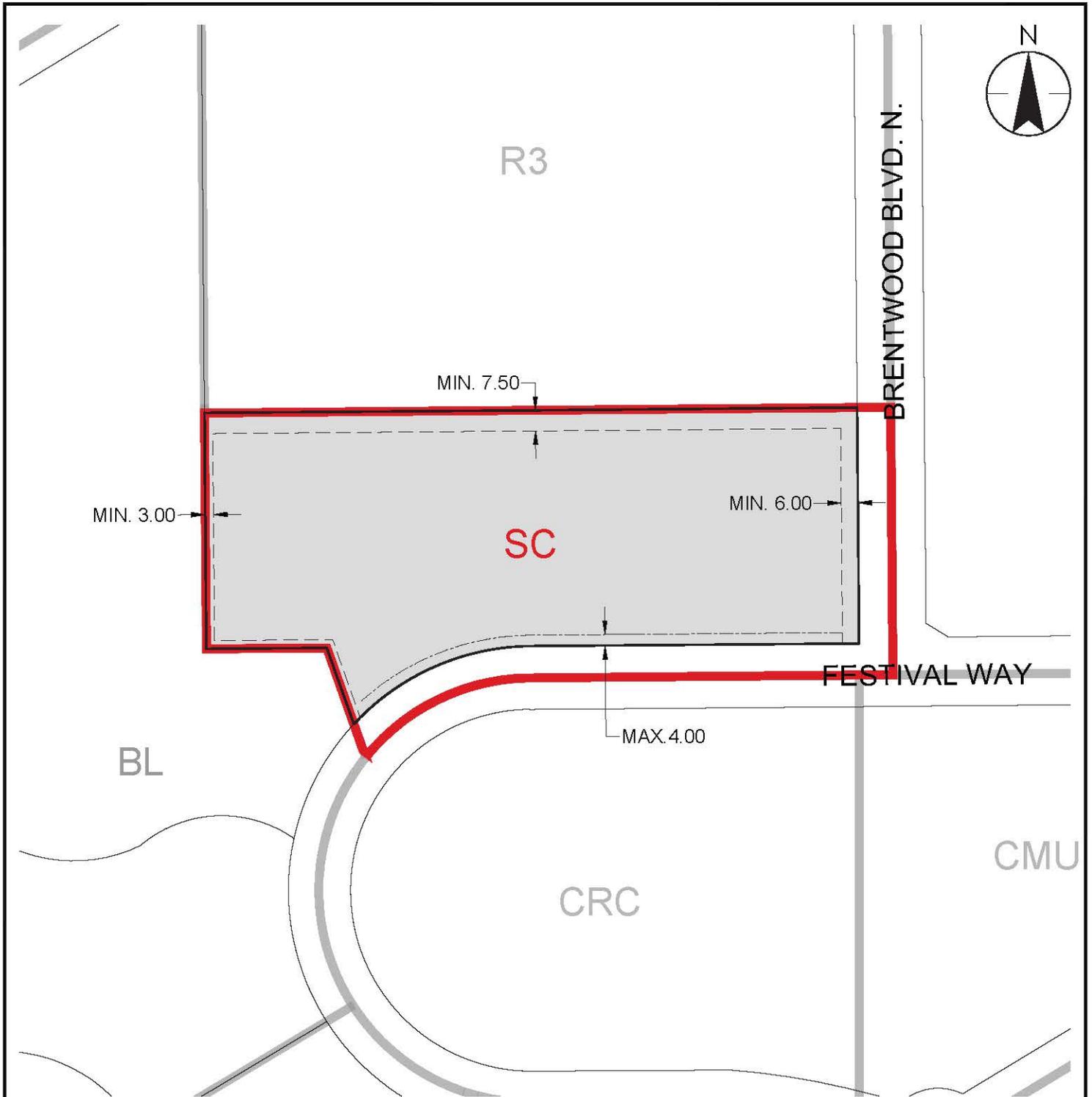
LEGEND

-  Active Transportation Infrastructure
-  Publicly Accessible Amenity Space
-  Zoning District

Note* Locations and sizes of connections and amenity spaces are approximate and will be confirmed through detailed site planning.

Figure "SC"

(11) Figure "SC":



SCALE NTS

ZONE	SITE BOUNDARY	MIN. BUILD-TO LINE (m)	MAX. BUILD-TO LINE (m)		BUILDING HEIGHTS (m)
		---	---	STANDARD	Max. 20.0
	BRENTWOOD BLVD	6.0	N/A	TRANSITION ZONE	N/A
	FESTIVAL WAY	N/A	4.0	STEPBACKS	N/A
	INTERNAL PRIVATE STREETS, ACTIVE TRANSPORTATION CONNECTION OR PUBLICLY ACCESSIBLE AMENITY SPACE	0.0	3.0		
	ABUTTING R3	7.5	N/A		
	ABUTTING BL AREA	3.0	N/A		

Note: Location of internal private streets, active transportation connections and publicly accessible amenity spaces to be determined through detailed site planning
 Note: Heights may vary in accordance with policies

13.1.12 BL – Broadmoor Lake Area

Area of Application

- (1) The BL area contains the area of land shown on Drawing "CITP" in section 13.1.1 that is identified as "BL". The regulations set out in this section 13.1.12 apply to the BL area.

Purpose

- (2) The purpose of this area is to facilitate the ongoing use of the area as a destination for recreational activities, festivals and passive and active uses.

Uses

- (3) Subject to any fundamental use criteria for certain uses set out below, the permitted uses and the discretionary uses for this area are:

PERMITTED USES

- care centre, intermediate
- care centre, major
- care centre, minor
- education, private
- education, public
- emergency service
- exhibition and convention facility
- government service
- health service, minor
- library and exhibit
- parking, non-accessory
- private club
- recreation, community
- recreation, indoor
- recreation, outdoor
- spectator sport
- utility service, minor

DISCRETIONARY USES

- assisted living facility, where: (1) considered a form of community housing; and (2) accessory to a principal permitted use
- congregate housing, where: (1) considered a form of community housing; and (2) accessory to a principal permitted use

dwelling, apartment, where considered a form of community housing
food service, restaurant, where: (1) contained within a mixed-use building; or (2) an accessory use to an institutional use
food service, specialty, where: (1) contained within a mixed-use building; or (2) an accessory use to an institutional use
retail, convenience, where: (1) contained within a mixed-use building; or (2) an accessory use to an institutional use
retail, general, where: (1) contained within a mixed-use building; or (2) an accessory use to an institutional use
senior citizen housing, where: (1) considered a form of community housing; and (2) accessory to a principal permitted use

- (4) The fundamental use criteria for certain uses before such uses become permitted uses or discretionary uses within this area are:
- (a) where a permitted use or discretionary use listed in section 13.1.12(3) interrupts a linkage shown on Drawing "BL", then that use can only occur if it includes a linkage on the same site as the use to replace such interruption;
 - (b) a commercial use or a residential use listed in section 13.1.12(3) can only occur where the majority of the developed first storey area of the BL area exists as an institutional use; and
 - (c) where any permitted use listed in section 13.1.12(3) that would result in the removal of publicly accessible amenity space within the area, such permitted use will be considered as if it was listed in section 13.1.12(3) as a discretionary use.

Development Regulation

Height

- (5) The maximum height of any building is:
- (a) 14.5 m where located within the transition zone;
 - (b) 20.0 m where located outside of the transition zone and where no community housing units are provided; or
 - (c) 40.0 m where community housing units are provided within at least 5 % of the gross floor area located above 20.0 m.
- (6) The minimum height of any building is 10.0 m.

Build-To Lines

- (7) The build-to line for any building is placed at least 6.0 m from a property line that is adjacent to Oak Street, Sherwood Drive or abutting lots outside of this area.

Figure "BL" provides a visual representation of the forgoing provision.

Connectivity

- (8) A development must provide the active transportation infrastructure connections shown on Drawing "BL".

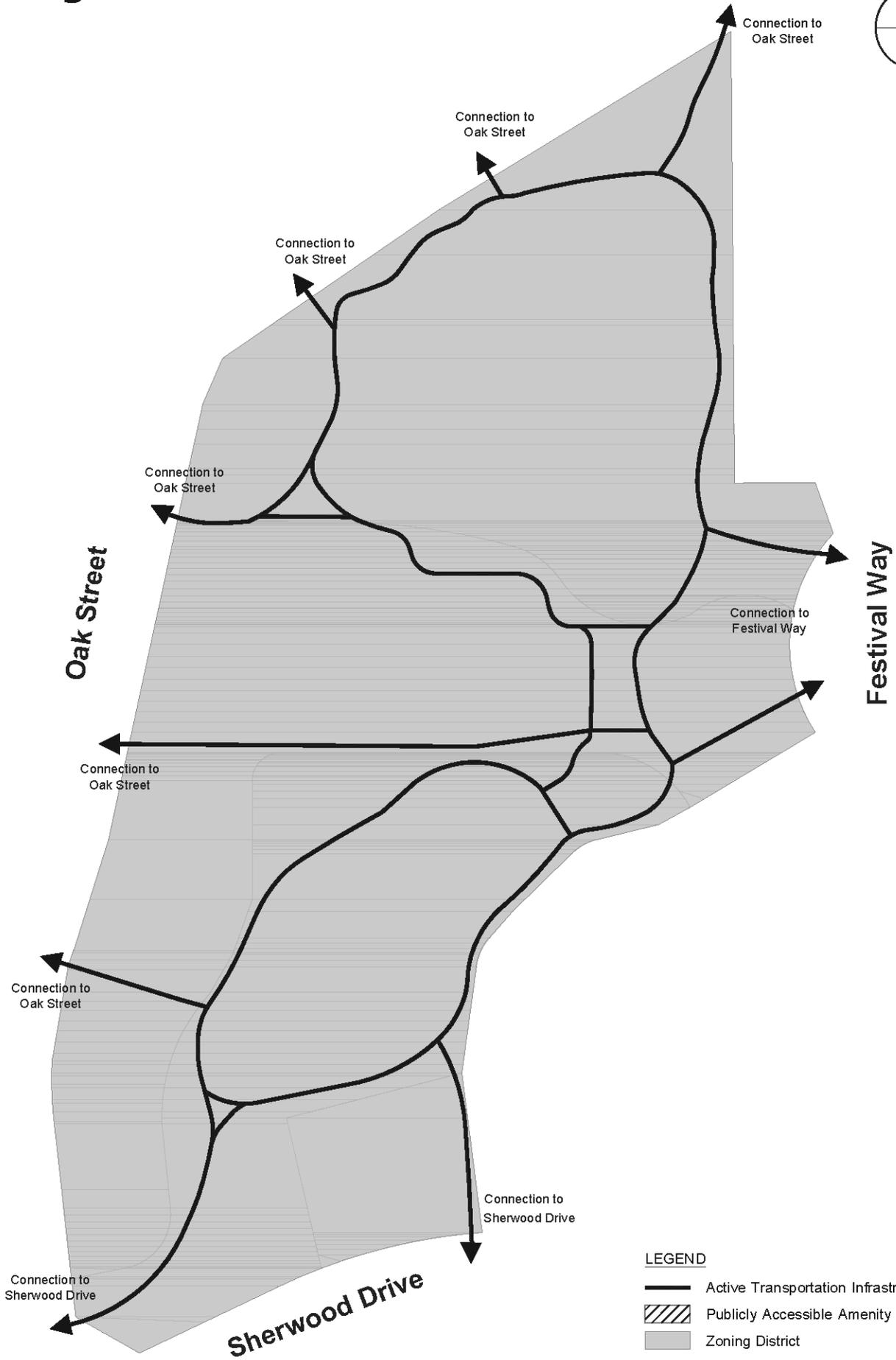
Other

- (9) A building that abuts a publicly accessible amenity space and either an internal private street or a public street must provide entrances facing toward both the street and the publicly accessible amenity space.

Drawing "BL"

- (10) Drawing "BL":

Drawing "BL"



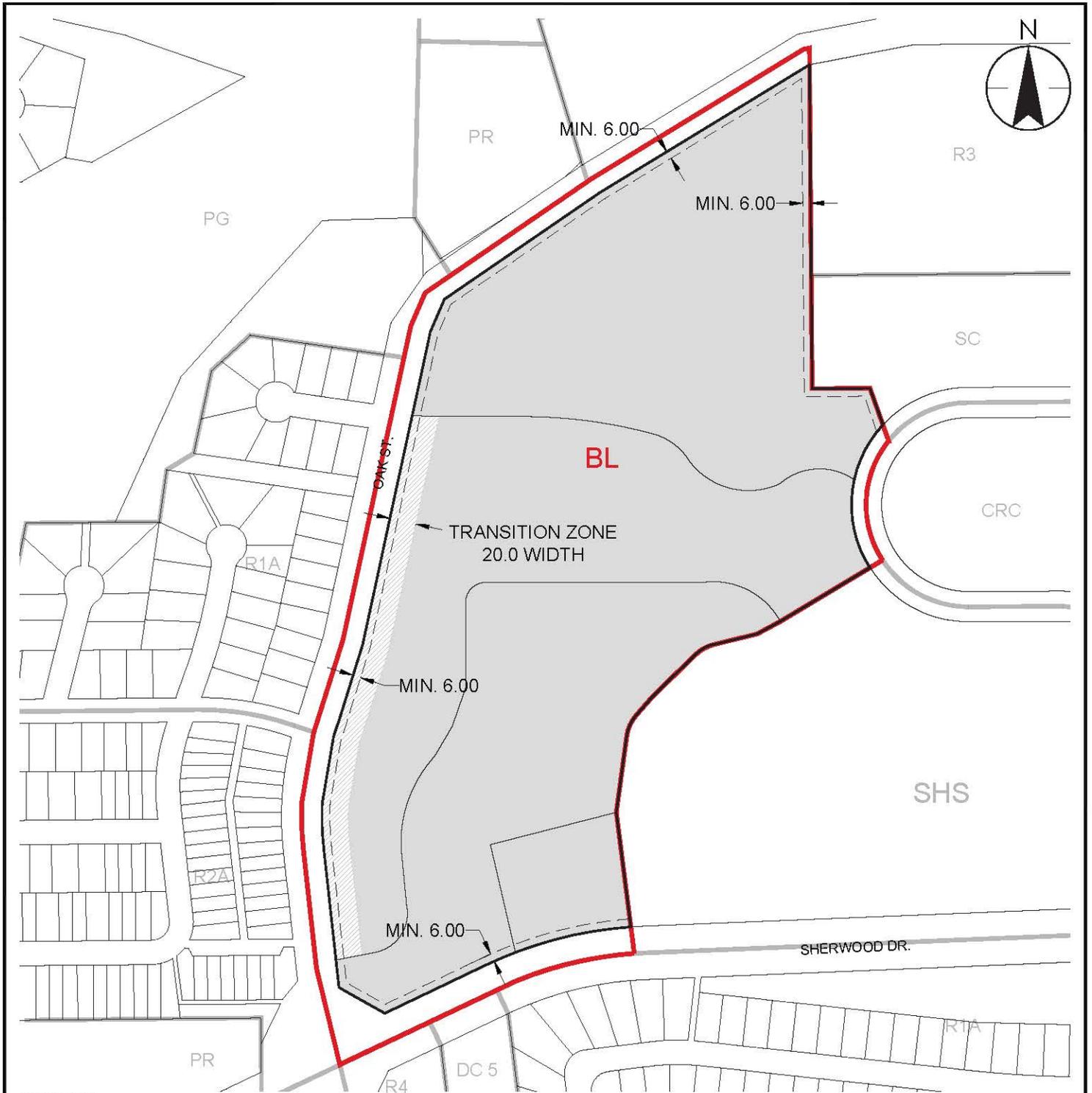
LEGEND

- Active Transportation Infrastructure
- Publicly Accessible Amenity Space
- Zoning District

Note* Locations and sizes of connections and amenity spaces are approximate and will be confirmed through detailed site planning.

Figure "BL"

(11) Figure "BL":



SCALE NTS

ZONE	SITE BOUNDARY	MIN. BUILD-TO LINE (m)	MAX. BUILD-TO LINE (m)
	OAK ST, SHERWOOD DRIVE & ABUTTING PARCELS	6.0	N/A

	BUILDING HEIGHTS (m)
STANDARD	Min. 10.0 - Max. 20.0
TRANSITION ZONE	Min. 10.0 - Max. 14.5
STEPBACKS	N/A

Note: Location of internal private streets, active transportation connections and publicly accessible amenity spaces to be determined through detailed site planning
 Note: Heights may vary in accordance with policies

13.1.13 SHS – Salisbury High School Area

Area of Application

- (1) The SHS area contains the area of land shown on Drawing "CITP" in section 13.1.1 that is identified as "SHS". The regulations set out in this section 13.1.13 apply to the SHS area.

Purpose

- (2) The purpose of this area is to facilitate the existing educational facility and associated community and recreational uses.

Uses

- (3) Subject to any fundamental use criteria for certain uses set out below, the permitted uses and the discretionary uses for this area are:

PERMITTED USES
education, private
education, public
government services
health service, minor
library and exhibit
recreation, outdoor
religious assembly, minor
utility service, minor

DISCRETIONARY USES
care centre, intermediate
care centre, major
emergency service
exhibition and convention facility
health service, major
parking, non-accessory
private club
recreation, community
recreation, indoor
religious assembly, major

- (4) The fundamental use criteria for certain uses before such uses become permitted uses or discretionary uses within this area are:
 - (a) a permitted use or a discretionary use listed in section 13.1.13(3) can only occur where an Education, Public or Education, Private exists within the SHS area.

Development Regulation

Height

- (5) The maximum height of any building is 20.0 m or six storeys.

Stepback

- (6) A building that abuts Sherwood Drive and has a height greater than 14.5 m must have a minimum 5.0 m stepback at a maximum height of 14.5 m within any building face that abuts Sherwood Drive.

Build-To Lines

- (7) The build-to line for any building is placed at least 6.0 m from a property line that is adjacent to Sherwood Drive.

Figure "SHS" provides a visual representation of the forgoing provision.

Figure "SHS"

(8) Figure "SHS":



SCALE NTS

ZONE	SITE BOUNDARY	MIN. BUILD-TO LINE (m)	MAX. BUILD-TO LINE (m)
	SHERWOOD DRIVE & ABUTTING PARCELS	6.0	N/A

	BUILDING HEIGHTS (m)
STANDARD	Max. 20.0
TRANSITION ZONE	N/A
STEPBACKS	Min. 5.0 m step back at a maximum height of 14.5 m adjacent to Sherwood Drive

Note: Location of internal private streets, active transportation connections and publicly accessible amenity spaces to be determined through detailed site planning

Note: Heights may vary in accordance with policies

13.1.14 TM – The Market Area

Area of Application

- (1) The TM area contains the area of land shown on Drawing "CITP" in section 13.1.1 that is identified as "TM". The regulations set out in this section 13.1.14 apply to the TM area.

Purpose

- (2) The purpose of this area is to provide for a range of commercial uses that help to define the Urban Centre and that service Sherwood Park and beyond. The area includes a pedestrian linkage between the northern Festival Way/Sherwood Drive intersection and the Urban Square.

Uses

- (3) Subject to any fundamental use criteria for certain uses set out below, the permitted uses and the discretionary uses for this area are:

PERMITTED USES
business support service
dwelling, apartment, where it is not located on the first storey of a building
financial service
food service, restaurant
food service, specialty
government service
health service, minor
home business, minor
home office
information centre
neighbourhood pub
nightclub
office
parking, non-accessory
personal service establishment
residential sales centre
retail, convenience
retail, general

DISCRETIONARY USES
animal grooming and care
commercial school

convenience vehicle rental
recreation, indoor
retail, alcohol, where it does not front onto Festival Way
retail, cannabis
utility service, minor

Development Regulations

Height

- (4) The maximum height of any building is 20.0 m or six storeys.
- (5) The minimum height of any building is 8.69 m.

Stepback

- (6) A building that abuts Sherwood Drive or Festival Way, within 100 m of Sherwood Drive and has a height greater than 14.5 m must have a minimum 5.0 m stepback at a maximum height of 14.5 m within any building face that abuts Sherwood Drive or Festival Way.

Build-To Lines

- (7) The build-to line for any building is placed at 0.0 m from a property line that is adjacent to Sherwood Drive, Festival Way or Festival Avenue.

Figure "TM" provides a visual representation of the forgoing provision.

Other

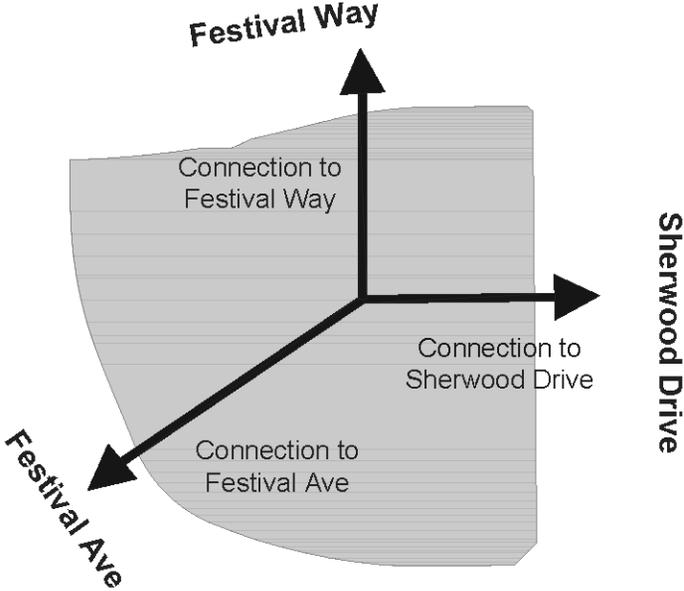
- (8) Wheel stops shall be provided within every parking space located along the central pathway.
- (9) Additional signage shall be provided along the central pathway indicating "No Backing into Spaces Allowed".
- (10) The central pathway shall be designed to incorporate 1.0 m² of planting beds for every 15.0 m² of pathway. The required planting beds are to be consolidated into openings of a minimum of 3.0 m² containing perennials and/or shrubs with at least one (1) tree per bed. A minimum of one (1) bench for each twenty (20) lineal meters of pathway shall be provided.
- (11) Parking layouts and space locations shall be coordinated with the County to ensure that vehicles do not encroach on the central pathway when entering or leaving a parking space.
- (12) Development that includes a storefront along Festival Avenue or the Urban Square must have storefront glazing using glass and spandrel panels.
- (13) Development that includes a commercial retail bay along Festival Avenue or Sherwood Drive must have single doors to that commercial retail bay. Doors located adjacent to the Urban Square shall be Handicap accessible doors. Double entry doors may be provided to each commercial retail bay facing the Urban Square.

- (14) Development that includes building facades along Festival Avenue, Sherwood Drive and the Urban Square shall incorporate a combination of solid walls and storefront glazing and entrances. Solid up stand walls required to accommodate established Festival Avenue grades shall be minimized with landscape features and treatment.
- (15) The 4.8 m wide, active transportation infrastructure connection, identified on Drawing "TM", shall not be occupied by anything other than a landscaped pathway linking the Urban Square and the northern intersection of Festival Way and Sherwood Drive.

Drawing "TM"

- (16) Drawing "TM":

Drawing "TM"



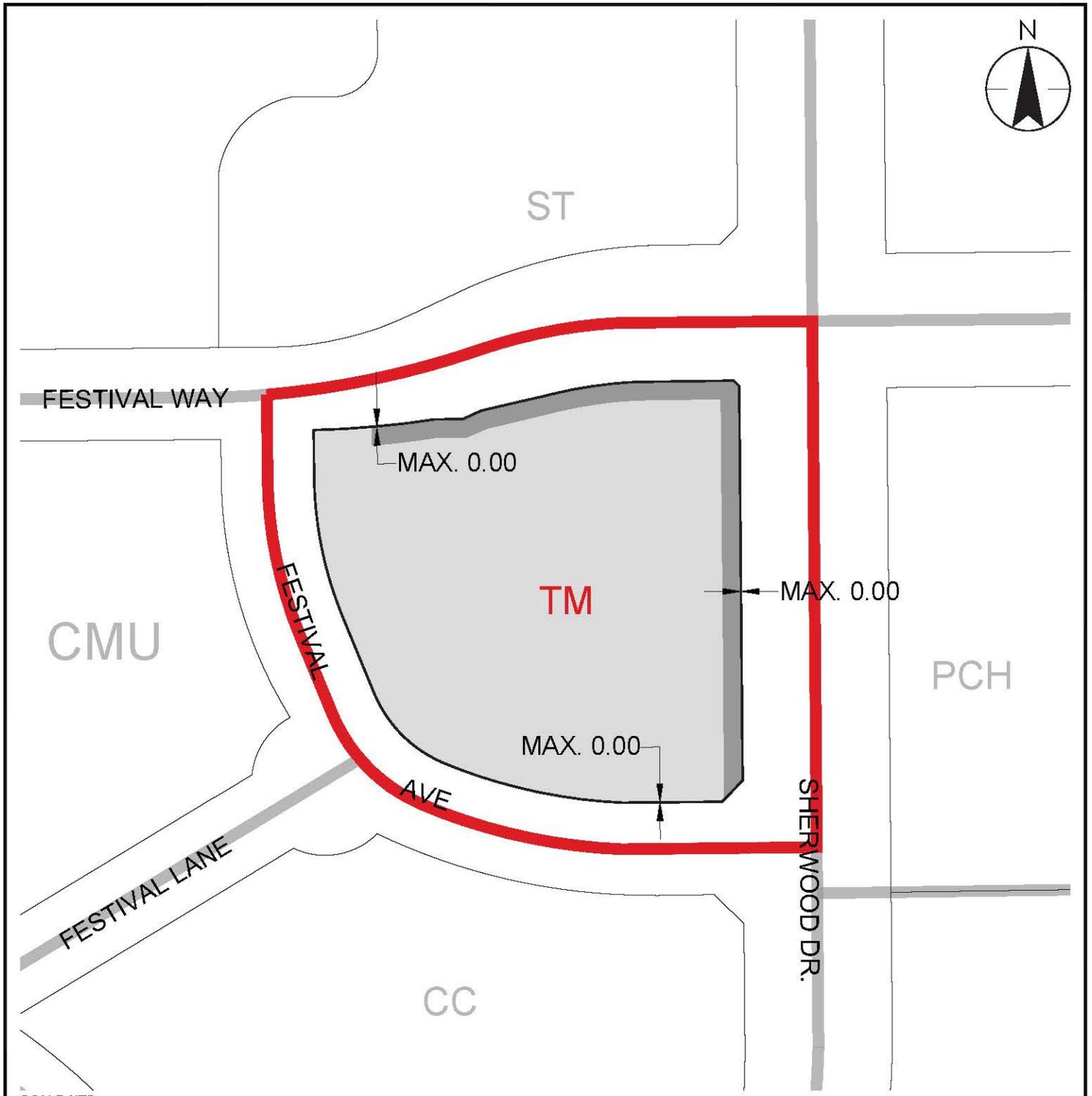
LEGEND

-  Active Transportation Infrastructure
-  Publicly Accessible Amenity Space
-  Zoning District

Note* Locations and sizes of connections and amenity spaces are approximate and will be confirmed through detailed site planning.

Figure "TM"

(17) Figure "TM":



SCALE NTS

ZONE	SITE BOUNDARY	MIN. BUILD-TO LINE (m)	MAX. BUILD-TO LINE (m)
			
	FESTIVAL WAY AND SHERWOOD DRIVE	N/A	0.0

	BUILDING HEIGHTS (m)
STANDARD	Min 8.69 - Max. 20.0
TRANSITION ZONE	N/A
STEPBACKS	Min. 5.0 m step back at a maximum height of 14.5 m adjacent to Sherwood Drive or Festival Way, within 100 m of Sherwood Drive

Note: Location of internal private streets, active transportation connections and publicly accessible amenity spaces to be determined through detailed site planning

Note: Heights may vary in accordance with policies

13.1.15 CC – Civic Centre Area

Area of Application

- (1) The CC area contains the area of land shown on Drawing "CITP" in section 13.1.1 that is identified as "CC". The regulations set out in this section 13.1.15 apply to the CC area.

Purpose

- (2) The purpose of this area is to provide for municipal government offices, a library, a museum, an art gallery and other public facilities. Also included are secondary commercial uses and a civic plaza, which provides an open space corridor between the Community Centre and County Hall.

Uses

- (3) Subject to any fundamental use criteria set out below for certain uses, the permitted uses and the discretionary uses are:

PERMITTED USES
business support service
care centre, intermediate
care centre, major
entertainment, spectator
financial service
food service, restaurant
food service, specialty
government service
health service, minor
information centre
library and exhibit
office
parking, non-accessory
personal service establishment
recreation, indoor
retail, convenience
retail, general

DISCRETIONARY USES
amusement centre
assisted living facility, where considered a form of community housing

commercial school

congregate housing, where: (1) considered a form of community housing; and (2) accessory to a principal permitted use

dwelling, apartment, where considered a form of community housing

neighbourhood pub

senior citizen housing, where: (1) considered a form of community housing; and (2) accessory to a principal permitted use

utility service, minor

- (4) The fundamental use criteria for certain uses before such uses become permitted uses or discretionary uses within this area are:
- (a) where a permitted use or discretionary use listed above interrupts a linkage shown on Drawing "CC", then that use can only occur if it includes a linkage on the same site as the use to replace such interruption; and
 - (b) a commercial use or residential use can only occur where the majority of the developed first storey area of the CC area exists as an institutional use.

Development Regulations

Height

- (5) The maximum height of any building is:
- (a) 20.0 m where no community housing units are provided; or
 - (b) 40.0 m where community housing units are provided within at least 5 % of the gross floor area located above 20.0 m.
- (6) The minimum height of any building is 10.0 m.

Stepback

- (7) A building that abuts Sherwood Drive and has a height greater than 14.5 m must have a minimum 5.0 m stepback at a maximum height of 14.5 m within any building face that abuts Sherwood Drive.

Build-To Lines

- (8) The build-to line for any building is placed between 0.0 m and 4.0 m from a property line that is adjacent to Festival Lane or Festival Avenue with outdoor amenity space, common or landscaping between the build-to line and such property line. Figure "CC" provides a visual representation of the forgoing provision.

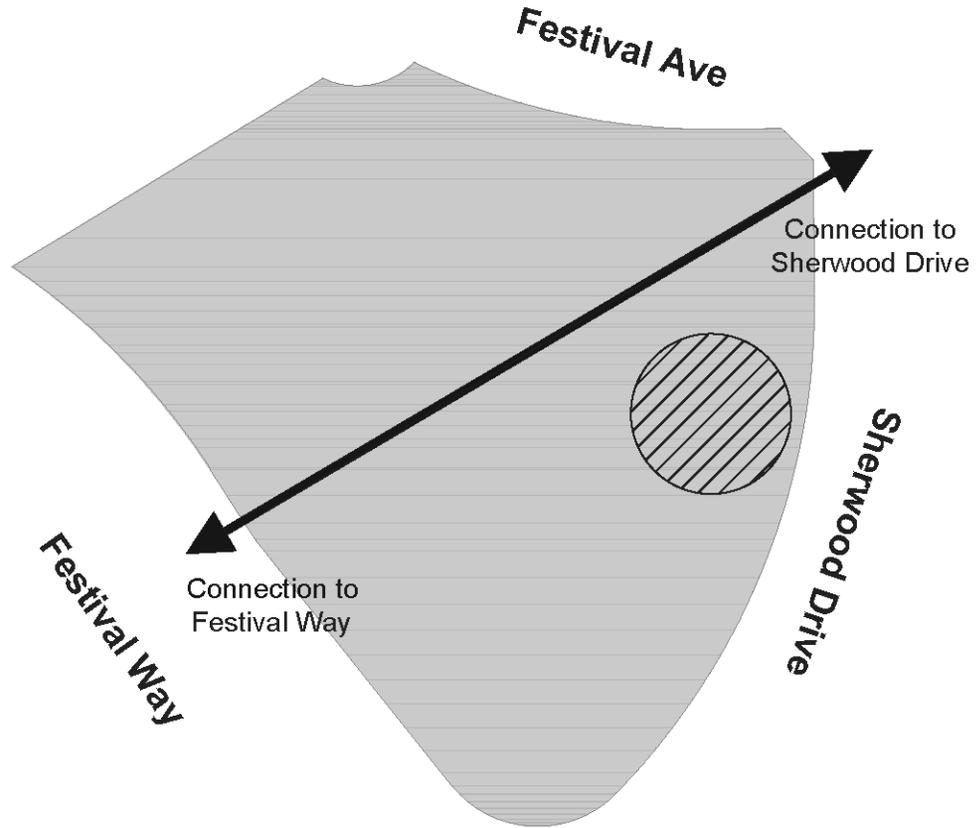
Publicly Accessible Amenity Spaces

- (9) A development must maintain the existing publicly accessible amenity space adjacent to Sherwood Drive and the agora situated within the building known as the Community Centre.

Drawing "CC"

(10) Drawing "CC":

Drawing "CC"

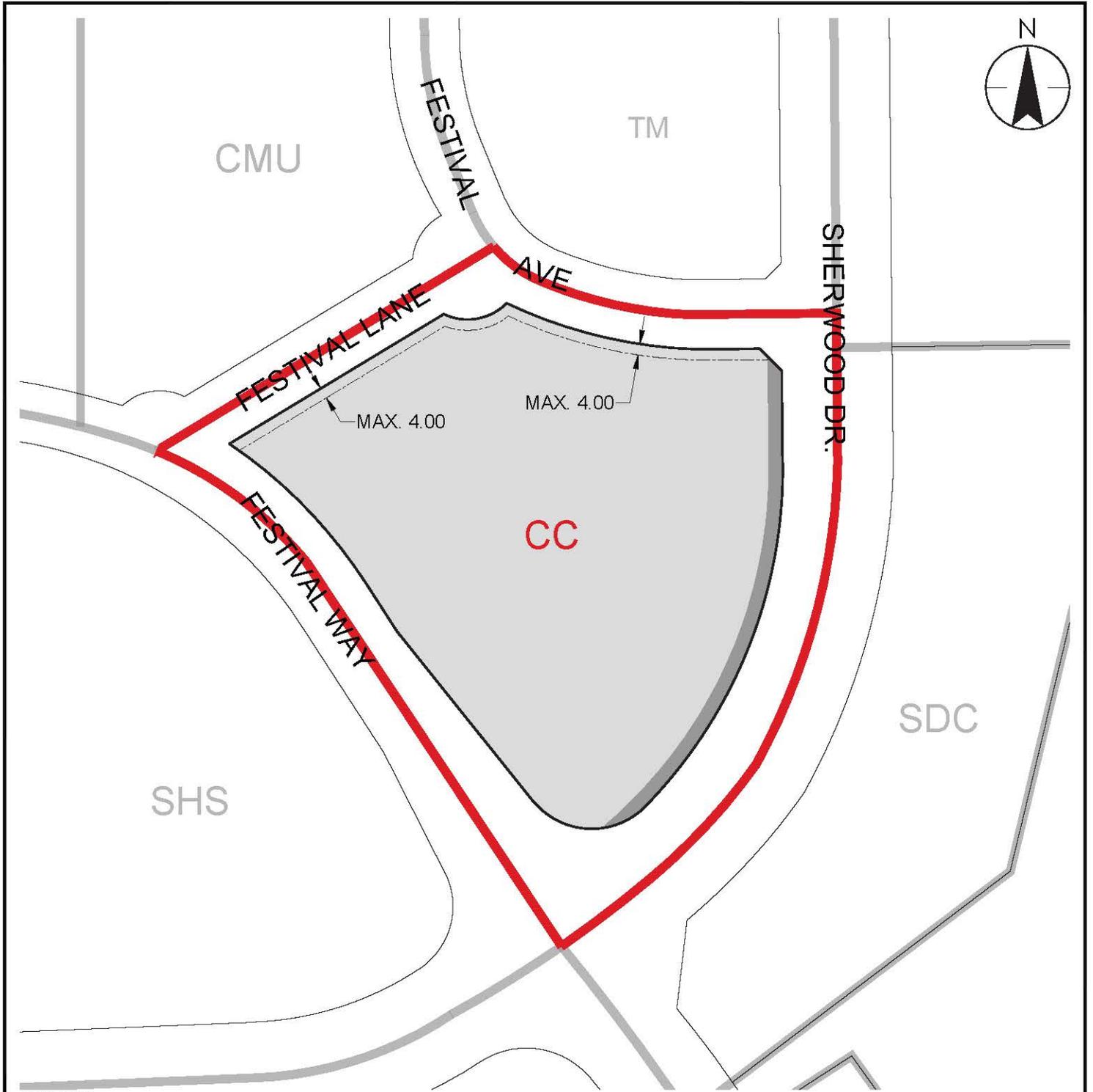


LEGEND

-  Active Transportation Infrastructure
-  Publicly Accessible Amenity Space
-  Zoning District

Figure "CC"

(11) Figure "CC":



SCALE NTS

ZONE	SITE BOUNDARY	MIN. BUILD-TO LINE (m)	MAX. BUILD-TO LINE (m)
			
	FESTIVAL LANE, FESTIVAL AVE & OR A PUBLICLY ACCESSIBLE AMENITY SPACE	0.0	4.0

	BUILDING HEIGHTS (m)
STANDARD	Min. 10.0 - Max. 20.0
TRANSITION ZONE	N/A
STEPBACKS	Min. 5.0 m step back at a maximum height of 14.5 m adjacent to Sherwood Drive

Note: Location of internal private streets, active transportation connections and publicly accessible amenity spaces to be determined through detailed site planning
 Note: Heights may vary in accordance with policies

13.1.16 CMU – Central Mixed-Use Area

Area of Application

- (1) The CMU area contains the area of land shown on Drawing "CITP" in section 13.1.1 that is identified as "CMU". The regulations set out in this section 13.1.16 apply to the CMU area.

Purpose

- (2) The purpose of this area is to provide for a mix of commercial uses and residential uses. Development in this area will provide a transition between the residential area and the commercial and civic centre areas. This area includes the Urban Square and the public pathway connecting it to the residential area.

Uses

- (3) Subject to any fundamental use criteria for certain uses set out below, the permitted uses and the discretionary uses for this area are:

PERMITTED USES
assisted living facility
business support service
care centre, intermediate
care centre, major
congregate housing
dwelling, apartment
financial service
food service, restaurant
food service, specialty
government service
health service, minor
home business, minor
home office
hotel
office
parking, non-accessory
personal service establishment
retail, convenience
retail, general
senior citizen housing

DISCRETIONARY USES

amusement centre
commercial school
convenience vehicle rental
recreation, indoor
residential sales centre
retail, alcohol, where it does not front onto Festival Way
utility service, minor

Development Regulations

Height

- (4) The maximum height of any building is 20.0 m or six storeys.
- (5) The minimum height of any building is 10.0 m.

Build-To lines

- (6) The build-to line for any building is placed between 0.0 m and 4.0 m from a property line that is adjacent to Festival Lane with outdoor amenity space, common or landscaping between the build-to line and such property line.

Figure "CMU" provides a visual representation of the forgoing provisions.

Connectivity

- (7) The active transportation infrastructure connection, identified on Drawing "CMU", shall not be occupied by anything other than an east west landscaped pathway linking Festival Avenue to Festival Way.

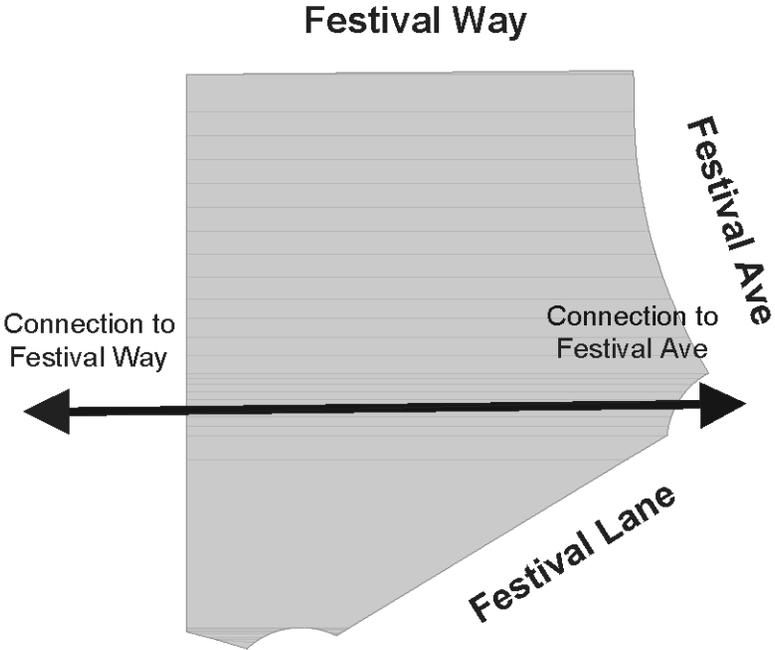
Other

- (8) Buildings fronting onto Festival Avenue or Festival Lane and the Urban Square shall have commercial uses or institutional uses on the first storey abutting the Urban Square.

Drawing "CMU"

- (9) Drawing "CMU":

Drawing "CMU"



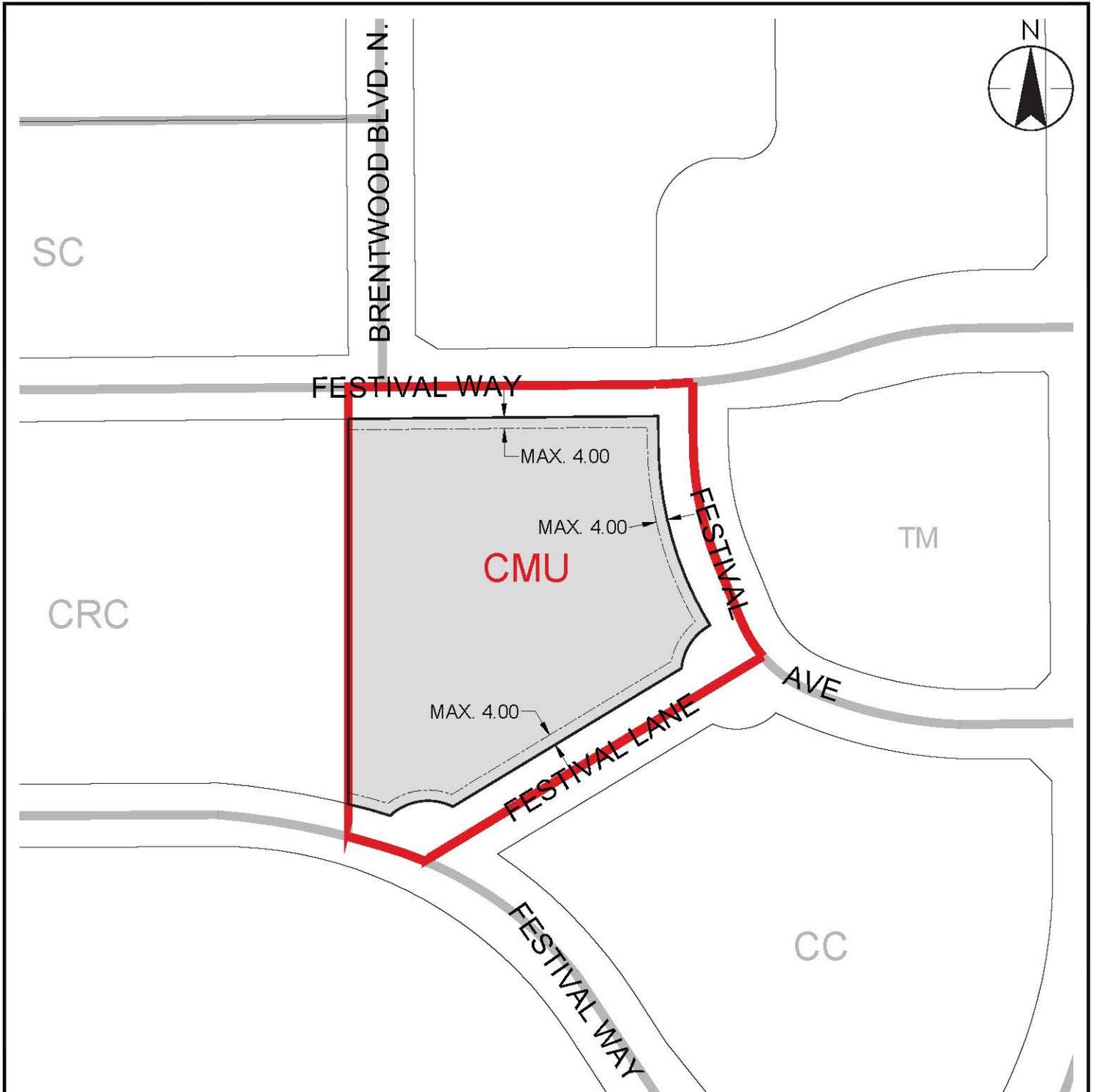
LEGEND

-  Active Transportation Infrastructure
-  Publicly Accessible Amenity Space
-  Zoning District

Note* Locations and sizes of connections and amenity spaces are approximate and will be confirmed through detailed site planning.

Figure "CMU"

(10) Figure "CMU":



SCALE NTS

ZONE	SITE BOUNDARY	MIN. BUILD-TO LINE (m)	MAX. BUILD-TO LINE (m)		BUILDING HEIGHTS (m)
				STANDARD	Min.10.0 - Max. 20.0
	FESTIVAL WAY	N/A	4.0	TRANSITION ZONE	N/A
	FESTIVAL AVE	N/A	4.0	STEPBACKS	N/A
	INTERNAL PRIVATE STREETS, ACTIVE TRANSPORTATION CONNECTION OR PUBLICLY ACCESSIBLE AMENITY SPACE	N/A	0.0		
	FESTIVAL LANE	N/A	4.0		

Note: Location of internal private streets, active transportation connections and publicly accessible amenity spaces to be determined through detailed site planning

Note: Heights may vary in accordance with policies

13.1.17 CRC – Central Residential Condo Area

Area of Application

- (1) The CRC area contains the area of land shown on Drawing "CITP" in section 13.1.1 that is identified as "CRC". The regulations set out in this section 13.1.17 apply to the CRC area.

Purpose

- (2) The purpose of this area is to provide for multiple housing in the form of apartment housing, town housing, or a combination of apartment housing and town housing. The area includes an integrated linear public open space and walkway, and a minor commercial component.

Uses

- (3) Subject to any fundamental use criteria set out below for certain uses, the permitted uses and the discretionary uses are:

PERMITTED USES
dwelling, apartment
home business, minor
parking, non-accessory

DISCRETIONARY USES
care centre, intermediate
food service, restaurant
food service, specialty
office
personal service establishment
recreation, indoor
residential sales centre
retail, convenience
retail, general
utility service, minor

- (4) The fundamental use criteria for certain uses before such uses become permitted uses or discretionary uses within this area are:
 - (a) discretionary uses listed in section 13.1.17(3) can only occur where they are an integral part of the larger multiple unit residential developments and where they are not located in a free standing building; and

- (b) any permitted use or discretionary use listed in section 13.1.17(3) can only occur where the total area of the CRC area that contains retail uses does not need 300 m².

Development Regulations

Height

- (5) The maximum height of any building is 20.0 m or six storeys.
- (6) The minimum height of any building is 10.0 m.

Build-To Lines

- (7) The build-to line for any building is placed between 0.0 m and 4.0 m from a property line that is adjacent to Festival Lane with outdoor amenity space, common or landscaping between the build-to line and such property line. Figure "CRC" provides a visual representation the forgoing provision.

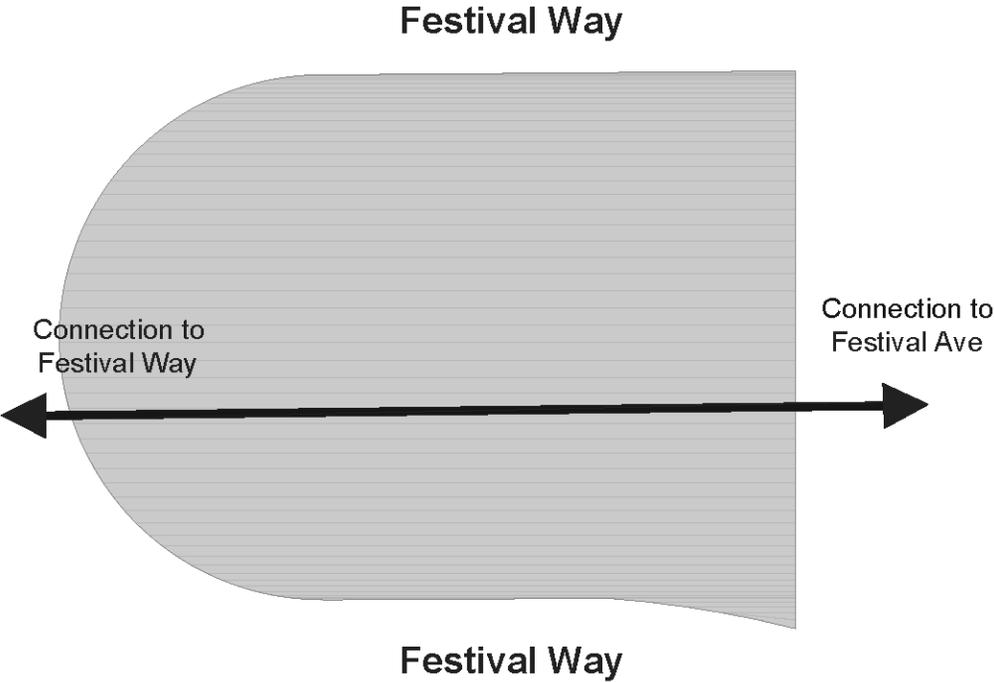
Connectivity

- (8) The active transportation infrastructure connection, identified on Drawing "CRC", shall not be occupied by anything other than an east west landscaped pathway linking Festival Avenue to Festival Way.

Drawing "CRC"

- (9) Drawing "CRC":

Drawing "CRC"



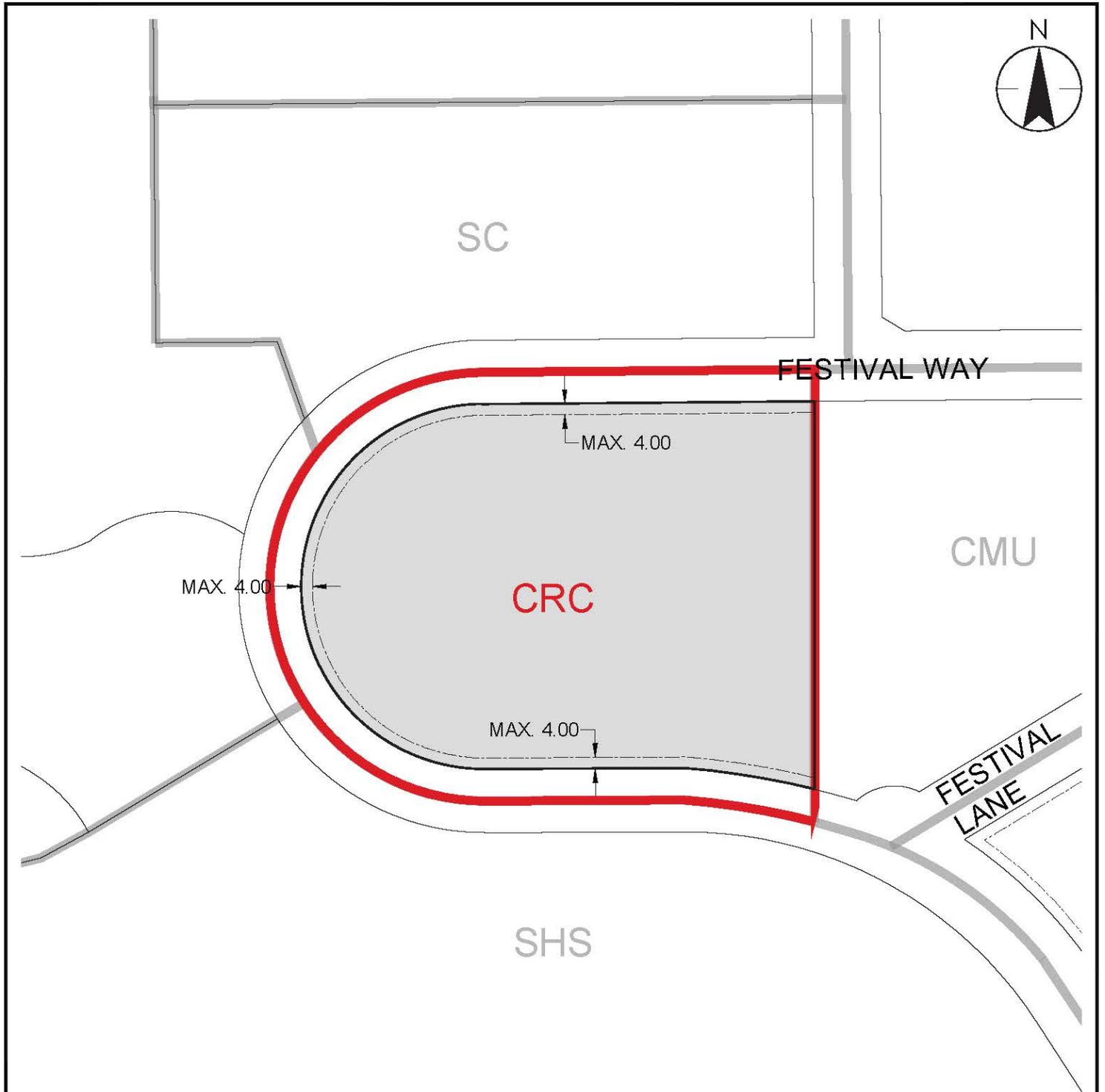
LEGEND

-  Active Transportation Infrastructure
-  Publicly Accessible Amenity Space
-  Zoning District

Note* Locations and sizes of connections and amenity spaces are approximate and will be confirmed through detailed site planning.

Figure "CRC"

(10) Figure "CRC":



SCALE NTS

ZONE	SITE BOUNDARY	MIN. BUILD-TO LINE (m)	MAX. BUILD-TO LINE (m)
			
	FESTIVAL WAY	N/A	4.0
	INTERNAL PRIVATE STREETS, ACTIVE TRANSPORTATION CONNECTION OR PUBLICLY ACCESSIBLE AMENITY SPACE	N/A	4.0

	BUILDING HEIGHTS (m)
STANDARD	Min. 10.0 - Max. 20.0
TRANSITION ZONE	N/A
STEPBACKS	N/A

Note: Location of internal private streets, active transportation connections and publicly accessible amenity spaces to be determined through detailed site planning

Note: Heights may vary in accordance with policies