

Fence Permit Process

Step 1:

- A development permit application and the required supporting information is submitted to Planning and Development Services.

Step 2:

- The application is then reviewed by a development officer and is approved or refused.

Outcome options:

- If your application is approved, you can proceed in constructing your fence.
- If your application is refused, you may appeal the decision.

The appeal process

You can appeal the decision or the conditions of approval.

You must submit your appeal to the Subdivision and Development Appeal Board within 21 days of the written notice of the decision.

Contact the Subdivision and Development Appeal Board at 780-464-8140 for more information on appeals.

Get started today

The staff at Planning and Development Services are pleased to explain the various regulations and how they apply to your project.

Please feel free to contact us at anytime.

Contact us

Strathcona County
Planning and Development Services

Main Floor, County Hall
2001 Sherwood Drive
Sherwood Park, Alberta T8A 3W7
www.strathcona.ca
Phone: 780-464-8080
Fax: 780-464-8142

Office Hours:
Monday to Friday 8:30 am - 4:30 pm

Please note this brochure has no legal status and cannot be used as an official interpretation of the various regulations currently in effect. Users are advised to contact Planning and Development Services for more information. Strathcona County accepts no responsibility for persons relying solely on this information.

Building a Fence



Do you need a permit?

For residential properties, a **development permit is only required if the height of your fence exceeds the maximum height** indicated on the diagram.

The maximum fence height is 2.0 m (6.6 ft.) for the portion of the fence that does not extend beyond the foremost portion of the building and 1.0 m (3.3 ft.) for the portion of a fence that extends beyond the foremost portion of a building.

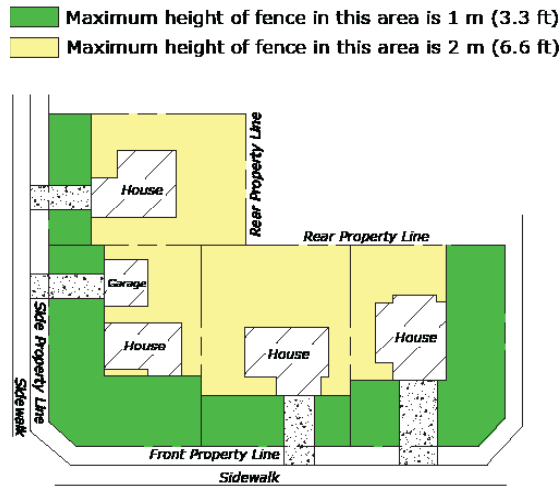
If you are fencing on a corner lot (abutting two streets), the maximum height is 1 m (3.3 ft.) for both the side and front yard abutting the street. See diagram for clarity.

What to submit

You will need:

- A completed development permit application form with land owner signature;
- A site plan showing:
 - ✓ Existing structures on the property and the proposed fence location
 - ✓ Easements and utility right-of-ways (a site plan prepared by an Alberta Land Surveyor may be required).
- An elevation drawing or photo; and
- A current copy of title, obtained within the past 30 days.
- Application fees (see current fee schedule)

Fence diagram



Did you know?

Although the County does not regulate the style, colour, or type of fencing, the developer of your neighbourhood might. Please contact the developer or search the title of your property to obtain any restrictive covenants that may apply.

A development officer may approve a higher fence for public safety, privacy, or buffering reasons.

Before constructing a fence contact Alberta One-Call at albertaonecall.com or at 1-800-242-3447 for buried utility locations.

Not all submitted drawings have to be professionally drawn, but must include all the required information and be legible to the satisfaction of the development officer.

The location of a fence between two lots is decided by yourself and your neighbour.

Where noise is a potential nuisance, a development officer may specify that the fence be designed to attenuate noise.

A building permit is not required for a fence, however, if the fence is around a pool, the pool may require a building permit. Please check with a Safety Codes Officer at 780-464-8080.

Example of Elevation Drawing

