

PART 8: SUSTAINABLE URBAN VILLAGES

8.1 PURPOSE

To ensure that development is consistent with the overall goals, objectives and policies of the Municipal Development Plan (MDP) and an applicable Area Structure Plan as they pertain to urban villages within the Sherwood Park Urban Service Area.

8.2 AREA DESCRIPTION

8.2.1. The Sherwood Park Urban Village Area may be characterized as follows:

- a) Provide for urban villages or sustainable urban neighbourhoods where most services are compact and mixed-use including most services, shops, restaurants and movie theatres which are within walking distance.
- b) Provide transition elements in the overall design in order to ensure sensitive integration with the surrounding urban development. Include housing types that meet a range of lifestyle, social needs and income levels. Encourage new large multi-lot developments that have an open and accessible neighbourhood form that integrates new housing with the broader community.

8.2.2. In order for a development to be a Sustainable Urban Village, it must:

- a) adhere to the development process outlined in the SUN Living: Developing Neighbourhoods With A One Planet Footprint document;
- b) acknowledge and set targets for each of the Twelve Themes of Sustainability; and
- c) adhere to LEED or Build Green standards as determined by the development authority with regard to built form on site.

8.3 URBAN VILLAGE ZONING DISTRICTS

8.3.1. The Urban Service Area includes the following Urban Villages:

- a) *Deleted by Bylaw 2-2020 (September 17, 2020)*
- b) UV2: Emerald Hills Urban Village (Sections 8.10 to 8.19)
- c) UV3: Centennial Village (Section 8.20)
- d) UV4: Salisbury Village (Sections 8.21 to 8.42)

8.3.2. Sustainable Urban Village Zoning Districts

- a) The Urban Village Zoning Districts are Land Use designations that have been specifically created to align with the intent of the Urban Village areas as stated within the Strathcona County Municipal Development Plan and any associated Area Structure Plan.
- b) These zoning designations apply specifically to the Sherwood Park Urban Village Area and contain the uses and regulations that will be considered within each of the Urban Village Policy Areas.

8.4 ADMINISTRATION

8.4.1. The Urban Village Zoning Districts shall be considered to be Direct Control Districts, in accordance with Section 641 of the Municipal Government Act.

8.4.2. Despite Section 1.17 (Definitions), definitions of uses established at the time of passage for the individual Zoning Districts shall continue to be in force and effect.

8.5 *DELETED BY BYLAW 2-2020 (SEPTEMBER 17, 2020)*

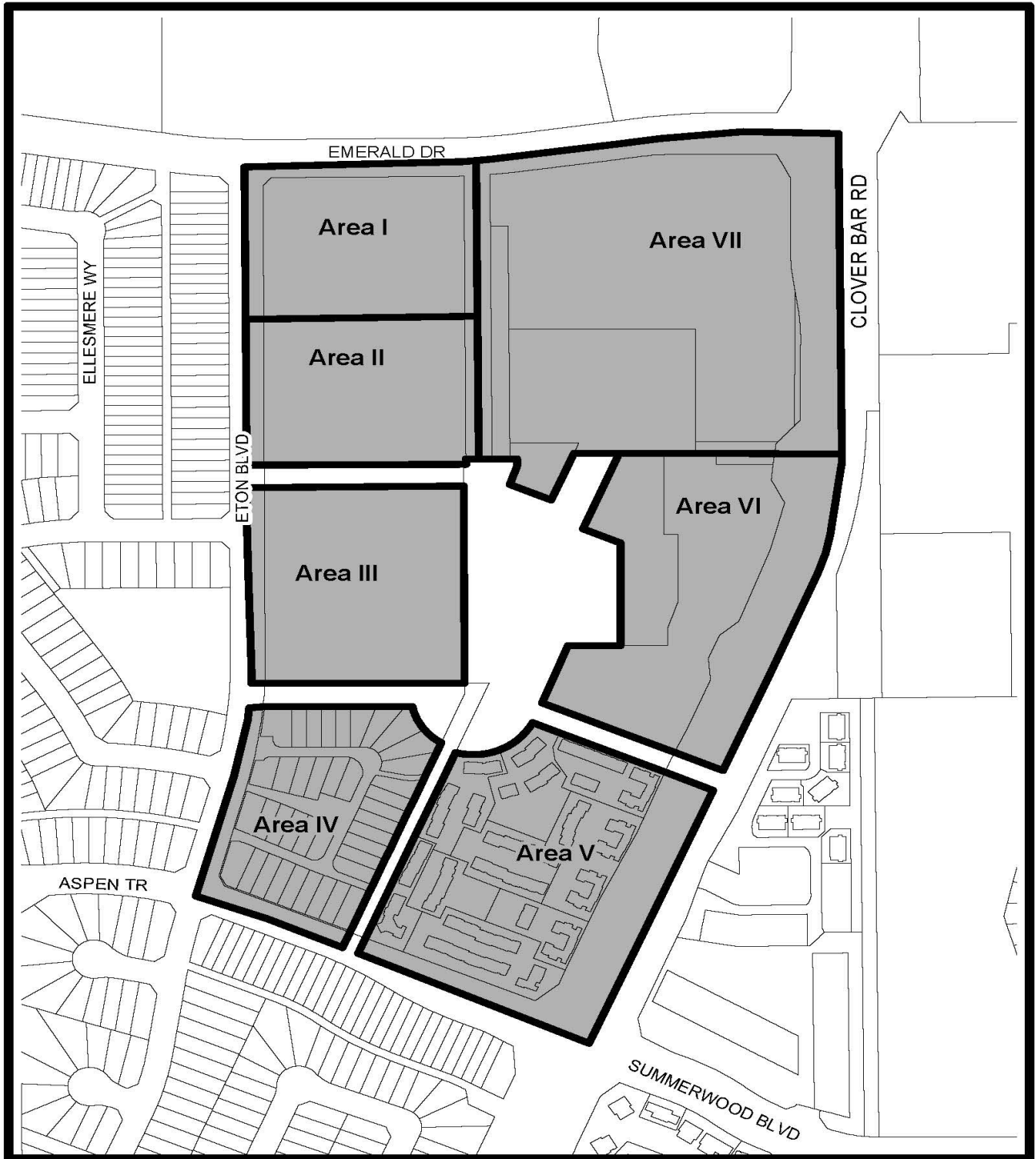
8.6 *DELETED BY BYLAW 2-2020 (SEPTEMBER 17, 2020)*

8.7 *DELETED BY BYLAW 2-2020 (SEPTEMBER 17, 2020)*

8.8 *DELETED BY BYLAW 2-2020 (SEPTEMBER 17, 2020)*

8.9 *DELETED BY BYLAW 2-2020 (SEPTEMBER 17, 2020)*

EMERALD HILLS URBAN VILLAGE





8.10 UV2 – EMERALD HILLS ZONING DISTRICT

8.10.1. Purpose

To establish a special-purpose Zoning District for the Emerald Hills Urban Village which will achieve the vision of a sustainable urban neighbourhood as contemplated in the Emerald Hills Area Structure Plan.

8.10.2. Area of Application

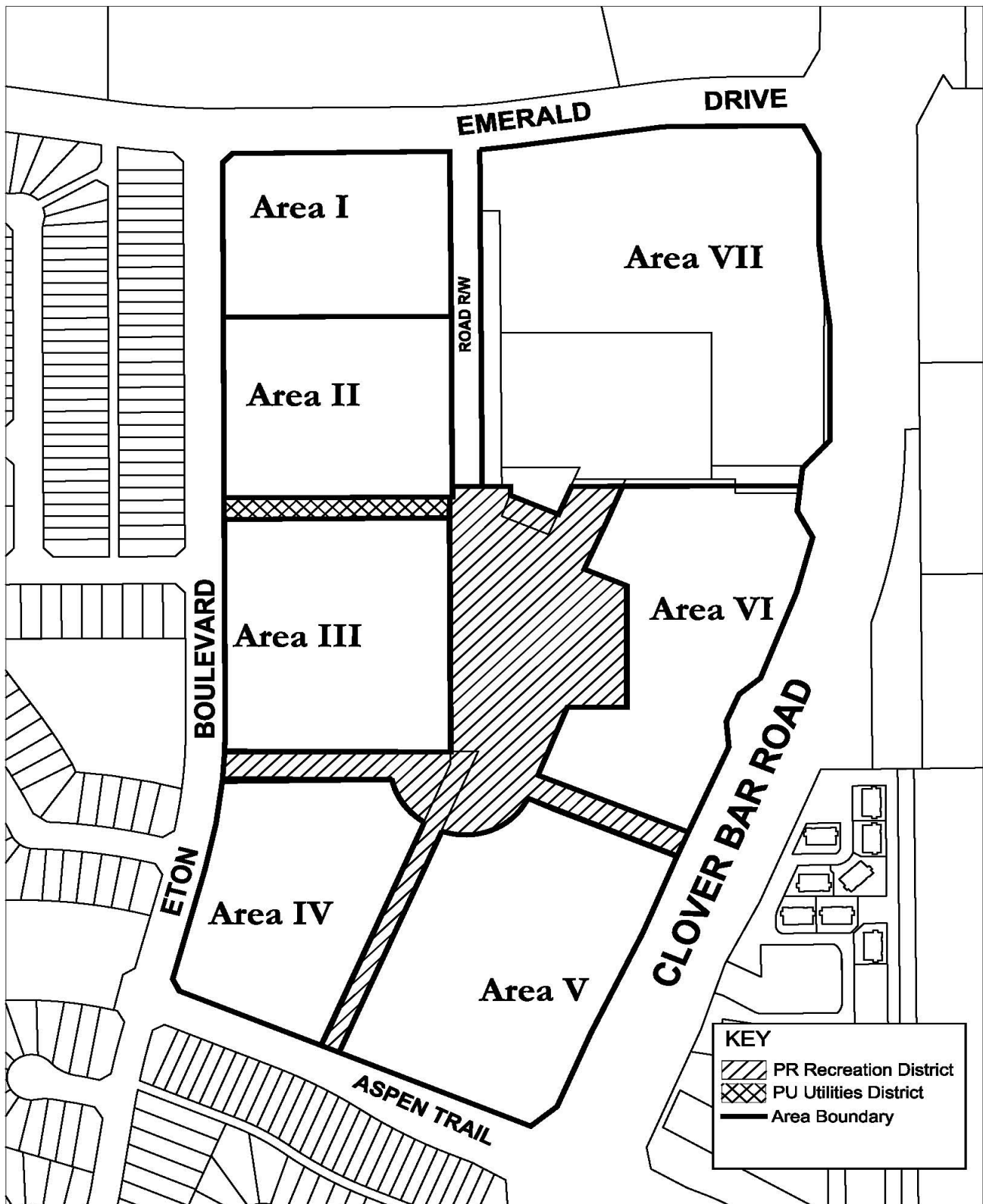
This Zoning District shall apply to parts of NE 11-53-23-W4 and SE 11-53-23-W4 located south of Emerald Drive, west of Clover Bar Road, east of Eton Boulevard, and north of Aspen Trail, as illustrated on Attachment "A" below.

8.10.3. Objective:

- a) As identified in the North of Lakeland Drive Area Concept Plan and the Emerald Hills Area Structure Plan, a residential urban village shall be established on the subject lands to provide a compact well designed mix of housing, shops and services in an integrated village setting that attains higher densities than surrounding areas. The principle objective of the Urban Village is to create opportunities for residents to live within the capacity of one planet while making sustainable living easier, attractive and more affordable than conventional suburban development.
- b) The master-planned Emerald Hills Urban Village has been designed through the application of sustainability and behavioural lenses with full consideration to local and global impacts on economic growth, environmental health, social equity and cultural vitality. The system applied to the Urban Village is represented by 12 theme objectives to guide developers, Development Officers, and builders in the design, review, and construction of the Village to ensure that a truly sustainable community is realized.



8.10.4. Attachment 'A'



8.10.5. Subdivision Regulations

- a) Subdivision within the Zoning District shall conform to the general Development Area configurations as illustrated on Attachment "A".
- b) Further to Section 8.10.5 (a), subdivision is permitted within Areas I, II, III and VI.
- c) Fundamental Use Criteria and Development Regulations shall apply to the boundaries of each Development Area.
- d) As part of a subdivision application or prior to issuance of a development permit within Areas I, II, III and VI, whichever comes first, the first developer to commence within the Area shall enter into an Agreement with the County to address the design, construction, costs and recoveries associated with how access, parking, phasing and landscaping will function within the Area.
- e) Building setbacks are to be interpreted from the internal property line of a Development Area to the edge of a building. A building setback does not include driving lanes, parking spaces and/or parkade ramps.

8.10.6. General Development Regulations

- a) Sustainability Design Team

Prior to acceptance of a development permit application for a principal building within this Zoning District, the Development Officer shall consult with the Coordinator of the Sustainable Urban Neighbourhood (SUN) Design Team to determine if the proposed application is consistent with the Zoning District.

Should the Coordinator of the SUN Design Team deem that the application is consistent with the Zoning District, the application will be reviewed by the SUN Design Team as part of the regular development permit application circulation process. Should the Coordinator deem that the application is inconsistent with the Zoning District, the application will be reviewed by the SUN Design Team prior to the acceptance of the Development Permit Application.

The applicant shall submit documentation pertaining to the consistency of the application with the SUN Design Guidelines for review by the SUN Design Team. The SUN Design Team will evaluate the development in the context of the 12 sustainability themes described above. It is understood, that not all 12 themes may be applicable to all developments. Following review of the proposal, the SUN Design Team will provide the Development Officer with an assessment that indicates how well the proposed application performs relative to the sustainability themes and the objectives of the Urban Village. The assessment may also include recommendations for improvements.

The assessment will be provided to the applicant to advise how well they have achieved sustainability and will be used to inform the decision of the Development Officer in the application approval process.

- b) Master Site Plan

The Emerald Hills Urban Village Master Site Plan was developed through a comprehensive collaborative planning and design approach that engaged a full spectrum of stakeholders from the onset including representatives from the lead developer, the municipality, the funding partners, and other key stakeholders.

The Emerald Hills Urban Village Master Site Plan is shown on Attachment "B".

All development within the Zoning District shall be guided by the Master Site Plan. While conformance with the plan is desired, it is understood that the Village will be developed over a period of time and market conditions may influence the need for minor adjustments in the actual implementation of the Plan. In this regard, the Development Officer should be guided by an application's consistency with the Zoning District's Objectives and Sustainability Themes rather than strict adherence to the location of buildings on the Master Site Plan.

8.10.7. Attachment 'B'

EMERALD HILLS URBAN VILLAGE
MASTER SITE PLAN

ATTACHMENT "B"



c. Urban Design

The Development Officer shall evaluate development permit applications in the context of the Emerald Hills Urban Village Architectural and Open Space Design Guidelines. To ensure a high standard of development, building design plans shall be submitted with a development permit application along with documentation demonstrating consistency with the Emerald Hills Urban Village Architectural and Open Space Design Guidelines. Such plans shall be to the satisfaction of the Development Officer and shall include details of overall site layout, exterior building treatment and colour scheme, perimeter and internal landscaping, fencing and screening, and any surface vehicular parking layout, where permitted. The following Urban Design regulations shall be adhered to in preparation of the plans for all areas within the Urban Village:

i) Architectural Treatment - General

The architecture of all developments within the Urban Village shall be consistent with the heritage theme established for Emerald Hills. To guide the design process the following guidelines are provided:

1. The predominant finish of Apartment and mixed use buildings shall be finished with brick or stone. Architectural stucco or alternate siding materials may be considered for the balance of the façade. Vinyl siding is discouraged on Apartment and mixed use buildings.
2. Dark colours that are rich, deep and bold, such as dark brown, orange, red with light coloured accents is the preferred colour scheme.
3. Accent stone and brick is required around windows and doors.
4. The overall architectural treatment of the ground floor will be more extensive than the upper floors to create a more dynamic and inviting streetscape.
5. All building façades shall include design elements, materials, and articulation that reduces the perceived mass of the building façade and adds architectural interest. Blank walls are not permitted on any façade of a building.
6. At least 80% of the floor elevation of the ground (first) floor of Apartment and mixed use buildings shall be no higher than 1.0 m above the mean grade of the adjacent public sidewalk, at the property line.
7. Retaining walls, planters, and other site features and elements shall be finished to match and compliment buildings.
8. In order to establish the urban feel adjacent to open spaces and surrounding road network, buildings will be placed as close to the street or property line as possible. Further, no solid or screen fencing shall be permitted along the edges of each Development Area within the Urban Village except where screening items such as garbage enclosures, loading areas and utility infrastructure. Fencing is not permitted between parcels within a Development Area except where required for Congregate Care. Innovative noise attenuation structures and building orientation will be required as an alternative to berms or long stretches of freestanding solid walls adjacent to any roadways. Improved noise attenuation will also be incorporated into the building structure.
9. Mechanical equipment on the roof of any building shall be concealed by incorporating it within the building roof, or by

screening it in a way that is consistent with the character and finishing of the building.

ii) Architectural Treatments – Commercial

In addition to the above, active commercial frontages shall be developed according to the following regulations:

1. There shall be outward facing building entrances, and windows in addition to any openings onto internal courtyards or parking areas;
2. Horizontal stretches of uninterrupted façade shall not exceed 12m in length;
3. A minimum of 50% of the ground floor portion of the building façade abutting a public road or walkway shall be comprised of non-reflective glazing; and
4. At least 50% of the ground floor commercial premises or work live units in Area I, II and VII facing the Mews shall consist of individual shops of not more than 12.0 m frontage.

iii) Architectural Treatment – Low Density Residential

Low density residential development, including a single dwelling, a semi-detached dwelling, a multiple dwelling, and a town house dwelling, shall be designed to be consistent with the Heritage Theme established for the Urban Village.

iv) Height

In order to reduce the perceived mass of buildings over 14 m in height, buildings shall incorporate into their architecture a step back of a minimum of 1.2 m at various heights on all sides of the buildings as illustrated on the Attachments (Attachments "C" through "I").

d. Parking Regulations

Despite the parking requirements within Part 4 of this Bylaw, the following table shall apply to this Urban Village:

Table 8.2

Land Use	Minimum Parking Space Requirement
Apartment dwelling	1 space per 1-bedroom dwelling unit; 1.5 spaces per 2-bedroom dwelling unit; 1 space per 10 dwelling units as designated visitor parking.
Congregate housing	0.25 space per 1 unit
Senior Citizen Housing	0.5 spaces per 1 unit
Retail, all forms	Patron Parking: 3.5 spaces per 100 m ² Employee Parking: 0.5 spaces per 100 m ²
Office, all forms	Patron Parking: 2 spaces per 100 m ² Employee Parking: 0.5 spaces per 100 m ²
Apartment Hotel	1 space per 1 unit

- i) Where a specific use is not listed within the above table, the Development Officer shall follow the requirements found within Part 4 of this Bylaw.
- ii) The Development Officer may, at their discretion, vary the residential parking regulations if the developer demonstrates, to the satisfaction of the Development Officer, a reduced demand for parking through the introduction of a travel demand management

program which includes effective strategies such as a car share program, shared parking agreements and access to transit service within 30.0 m of this development.

- iii) The layout of parking areas shall specifically address the interrelation of pedestrian, vehicular and bicycle circulation in order to provide continuous, direct pedestrian access with a minimum of driveway and drive aisle crossings. Remedial treatments such as raised pedestrian crossings, forecourts and landings, special paving, lights and bollards shall be provided at significant points of conflict.
- iv) Parking, loading and passenger drop-off areas are required to be easily accessible and designed to minimize pedestrian-vehicle conflicts.
- v) Landscaped islands with raised curbs shall be used to define parking lot entrances, the ends of all parking aisles and the location and pattern of primary internal access drives, and to provide pedestrian refuge areas and walkways.
- vi) No surface parking shall be located within any Development Area Boundary setback.
- vii) Surface parking is required to be designed to feel "green" with substantial plantings.
- viii) For the uses, apartment housing, assisted living facility, and lodge living facility:
 - 1. Resident parking shall be provided in underground parking facilities.
 - 2. Buildings greater than four storeys in height shall provide underground visitor parking.
 - 3. Buildings four storeys or less in height are encouraged to provide visitor parking in underground facilities, however, ground level visitor parking may be provided.
 - 4. Employee parking shall be provided in underground parking facilities for buildings that exceed two storeys in height.
 - 5. Despite clauses 1 and 4, an increased portion of resident and employee surface parking may be considered within Development Area VI, subject to acceptance of a parking and landscaping plan to the satisfaction of the Development Officer.
- ix) For the uses, dwelling, townhouse, dwelling, multiple, and dwelling, semi-detached:
 - 1. Resident parking shall be internal to the residential unit whether in ground level garages or underground parking.
- x) For all Commercial or Institutional uses:
 - 1. Employee parking shall be provided in underground parking facilities for buildings that exceed two storeys in height.
 - 2. Patron parking for buildings that exceed four storeys in height shall be provided in underground parking facilities.
 - 3. Despite 8.10.6 d. vi) and 8.10.6 d. x) 2, surface parking may be considered for a Care Centre within Area II. (*Bylaw 47-2016 – Mar 28, 2017*)
 - 4. Patron parking for buildings less than four storeys in height is encouraged to be provided in underground parking facilities; however, surface parking may be provided.
 - 5. When reviewing development permit applications for uses that may operate at different times of the day or week, a Development Officer may consider shared parking amongst uses that have staggered peak hours of demand.

6. Off-site on street parking that is located immediately adjacent to the specific Development Area that is the subject of a development permit application may be considered in the calculation of patron on-site parking. However, the off-site on street parking shall not represent more than 10% of the required patron parking for the proposed development.

xi) Bicycle Parking Requirements

Despite the parking requirements of Part 4 of this Bylaw, the following bicycle parking requirements shall continue to be in effect for this Urban Village:

1. Secure indoor bicycle parking for residents and outdoor visitor Bicycle Parking will be required for apartment and senior citizen housing. Indoor bicycle parking shall be provided at a ratio of one (1) stall per five (5) units. Outdoor visitor bicycle Parking spaces shall be provided at a ratio of one stall per ten units.
2. Outdoor visitor bicycle parking for commercial development, including office uses, shall be provided at a ratio of one stall per 250 m² of gross floor area.

e) Transportation and Circulation

- i) Private useable open spaces within this Zoning District shall be connected via pedestrian linkages to open spaces provided elsewhere in the Urban Village and to the Emerald Hills neighbourhood.
- ii) Public access easements shall be provided as a condition of subdivision for internal roadway areas and any pedestrian corridors to provide access to the central open space. Easements shall make the private property owner(s) responsible for maintenance and liability.
- iii) Clear and effective access to the buildings on the site is required for service and emergency response vehicles.

f) Landscaping

- i) A detailed landscape plan for each development shall be submitted to and approved by the Development Officer prior to the approval of any development permit. These plans shall include details of pavement materials, fencing, exterior lighting and street furniture elements, garbage and storage areas, pedestrian seating areas, sizes and species of new plantings for the site, including any adjacent boulevard areas, sidewalk improvements, parks and open spaces. The Development Officer shall have regard for the degree to which the design of these features is consistent within the development. These features, where practical, shall be finished in materials the same as or complementary to the Heritage theme established for Emerald Hills.
- ii) The first development permit application submitted within a Development Area shall include a landscape plan for the entire development area, regardless of the number of private properties contained within the Development Area. At such time that a subsequent development permit is submitted for a separately titled parcel within the Development Area, an updated landscape plan shall be submitted for those and any other lands not yet developed within the Development Area which shall be in accordance with the design provisions of the original landscape plan. Discretion shall be granted to the landscaping within subsequent permits to allow for modification based on final

building design, uses, parking and loading requirements, or other details based on the final site design which were unforeseen. The materials, plant species and overall design concept and intent shall, however, be in keeping with the original landscape plan.

- iii) Landscaping shall be provided in accordance with the regulations of Section 3.11 of this Bylaw; except for the following:
1. Landscape plans submitted for each Development Area shall also include the landscape plan for the Municipal Reserve and adjacent Development Areas (where landscape plans have been approved) to demonstrate the complementary landscape planning.
 2. Major entry points to each development area from Clover Bar Road, Emerald Drive, Aspen Trail, and Eton Boulevard are to be given special landscape treatment to ensure that they are both attractive and readily identifiable.
 3. Internal pedestrian linkages within each development area shall be developed in accordance with the trail requirements pursuant to the County's Design and Construction Standards and be compatible with the trail specifications required within the central Municipal Reserve open space.
 4. Any planting materials required or provided shall be installed in the finished grade.
 5. Where surface parking for 30 or more vehicles is required, there shall be a landscaped open space within the interior of the parking area in which a minimum of 1.0 m² of landscaping shall be provided for each parking space. The required landscaping shall not be concentrated in one area and shall be placed within the parking area so as to provide visual relief and break-up of large areas of parking.
 6. A garbage collection area, an open storage area, or an outdoor service area, including any loading or vehicular service area, which is visible from an adjacent site or a public road, shall be fenced or have screen planting or both.
 7. All plant material required shall be hardy to the Sherwood Park region, as well as, to the location on the site where they are planted.
 8. Trees and shrubs shall be included on the landscape plan and planted on non-vehicular open space. In this regard, trees and shrubs are to be provided in accordance with the following guidelines:
 - A. Residential requires: one tree and one shrub per unit or one tree and one shrub per four congregate care sleeping units or the requirements of the landscaping section of this Bylaw, whichever is greater.
 - B. Commercial requires: one tree and one shrub per 100m² of gross floor area in addition to the requirements of the landscaping section of this Bylaw.
 9. Where space limits, tree planting may be substituted in one of the following manners:
 - A. shrub groupings may be substituted at the rate of five shrubs for one tree; and/or,
 - B. the excess tree and shrub planting may occur off-site within the District, to the satisfaction of the Development Officer; and/or,

C. the cash equivalent value of the plantings is used to enhance other non-planting landscape amenities within the subject parcel to the satisfaction of the Development Officer.

10. A Development Officer shall require, as a condition of a development permit that the applicant/owner provide a guaranteed security to ensure that landscaping is provided and maintained for two growing seasons in accordance with Section 3.11 of this Bylaw.

11. Where a contradiction may exist between the regulations of this Section and Section 3.13 of this Bylaw, the greater requirement shall be provided, to the satisfaction of the Development Officer.

g) Lighting

- i) Appropriate lighting shall provide security and add visual interest, while minimizing light pollution through the application of dark sky lighting principles in accordance with the Strathcona County Light Efficient Community Policy SER-009-038. Lighting shall be directed away from adjacent roadways. Lighting standards and fixtures shall be of a consistent design, complementary to the overall architectural theme of each development.
- ii) All public access areas within development areas shall be lit in keeping with the principles of crime prevention through environmental design and require site lighting as necessary to encourage pedestrian safety and security throughout the Urban Village.
- iii) In commercial areas no lighting standard or fixture shall exceed 10m in height.
- iv) In residential/mixed use areas, no lighting standard or fixture shall exceed 6.0 m in height.

h) Signs

In addition to the sign regulations listed within Part 5 of this Bylaw, the following provisions will be also applicable to signage within the UV2 Zoning District:

- i) The signs will be based on the Heritage theme that has been established for Emerald Hills, however, will be flexible to provide for a variety of sign types.
- ii) Portable Signs shall be prohibited within this Zoning District.
- iii) Temporary Signs shall only be considered if consistent with the Heritage Theme established for Emerald Hills.
- iv) Free-standing signs shall only be considered in Area VII adjacent to Clover Bar Road.
- v) Signs in residential areas shall be regulated as if the site is developed as an R3 Zoning District.
- vi) Signs in non-residential/mixed use areas shall be generally regulated as if the site is developed as a C2 Zoning District within Part 7 of this Bylaw.

i) Home Businesses

As a condition of issuing a development permit for a Home Business, the Development Officer may impose any condition that will help to ensure that the residential character of the development is maintained including, but not limited to the following:

- i) Conditions limiting the types of business that may be conducted under the permit;

- ii) Conditions limiting the number of business visits per day;
 - iii) Conditions limiting the number of business visitors at any one time;
 - iv) Conditions limiting the hours or days of operation of the business;
 - v) Conditions prescribing the manner of operation of the business that are intended to reduce noise or other off-site impacts; and
 - vi) Conditions limiting the location within the Dwelling, where the business may be conducted.
- j) Amenity Space
- i) Private amenity space shall be provided for Apartment Housing in accordance with the following provisions:
 - A. Not less than 3.5 m² private amenity space per unit on second storey and higher.
 - B. Not less than 15.0 m² private amenity space per unit on ground floor at grade for residential densities between 101 and 300 units per hectare.
 - ii) Private amenity space shall be interpreted as any outdoor or screened area accessible to the individual tenants of a dwelling unit in a multiple family building, including a balcony, patio, sunroom, etc.

8.11 SPECIFIC DEVELOPMENT AREAS

8.11.1. The Emerald Hills Urban Village has been divided into seven distinct development areas in order to manage the development process as shown on Attachment "A".

- a) Land Use Areas within Emerald Hills Urban Village:
 - i) Area I – Institutional, Medium to High Density Residential and Commercial
 - ii) Area II – Medium to High Density Residential and Commercial
 - iii) Area III – Medium to High Density Residential
 - iv) Area IV – Low to Medium Density Residential
 - v) Area V – Medium Density Residential
 - vi) Area VI – Medium to High Density Residential and Commercial
 - vii) Area VII – Commercial and High Density Residential

8.12 AREA I – INSTITUTIONAL, MEDIUM TO HIGH DENSITY RESIDENTIAL AND COMMERCIAL

8.12.1. Purpose

The primary purpose of this area is to accommodate an institutional use, in the form of a long-term care facility, together with compatible housing and commercial uses

8.12.2. Permitted Uses and Discretionary Uses

Permitted Uses

apartment housing
 apartment hotel
 business support service
 care centre, intermediate
 congregate housing

Discretionary Uses

food service, specialty
 government service
 home business, minor
 parking, non-accessory
 residential sales centre

financial service
 health service, minor
 office
 park
 personal service establishment
 retail, convenience
 senior citizen housing

retail, general
 utility service, minor

8.12.3 Fundamental Use Criteria

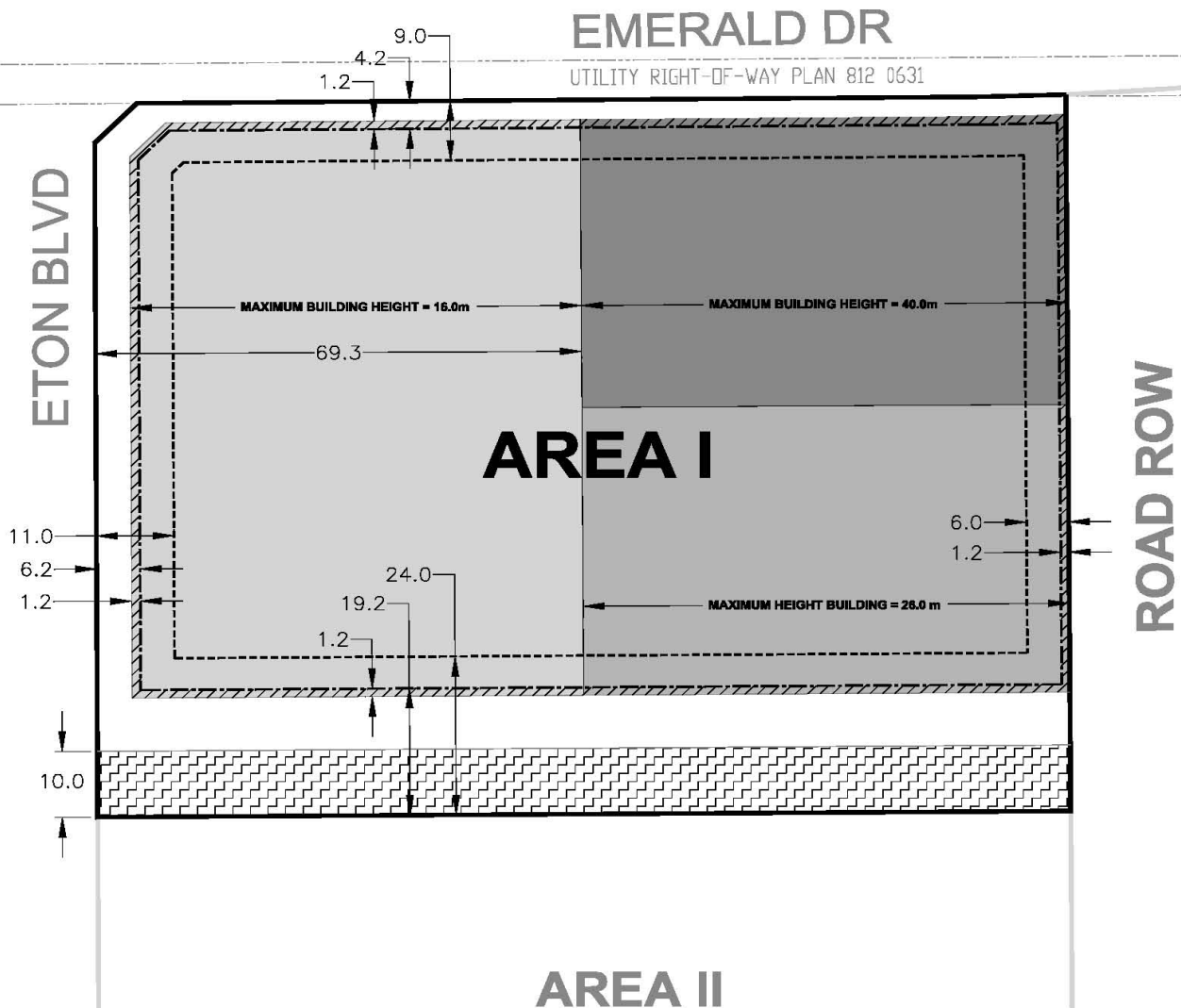
- i) The maximum floor area ratio is 2.4. The minimum floor area ratio is 2.2.
- ii) The maximum site coverage is 50%.
- iii) The maximum height shall be applied as follows:
 - i) Congregate Housing or Senior citizen housing – 16.0 m;
 - ii) Apartment housing – 40.0 m;
 - iii) Where a mixed use building is proposed the Development Officer may consider up to an additional 10% of height;
 - iv) Despite the above maximums, the height shall be transitioned in accordance with Attachment “C”; and
 - v) The maximum building floor plate located above 20.0 m in height is 800m².


8.12.4 Development Regulations

- a) Setbacks
 - i) The minimum building setback is 6.2 m and the maximum building setback is 11.0 m from the Development Area boundary line adjacent to Eton Boulevard.
 - ii) The minimum building setback is 4.2 m and the maximum building setback is 9.0 m to the Development Area boundary line adjacent to Emerald Drive.
 - iii) The minimum building setback is 1.2 m and the maximum building setback is 6.0 m to the east Development Area boundary line.
 - iv) The minimum building setback is 19.2 m and the maximum building setback is 24.0 m to the south Development Area boundary line.
 - v) The minimum building setback within a Development Area is 6.0 m from any property line that is not also a Development Area boundary line.
 - vi) Projections from buildings such as awnings, porticos, eaves, unenclosed balconies, shade protection, and similar architectural features that are not considered part of the interior space of the building may project up to 1.2 m into the minimum building setback. Under no circumstances are buildings or building projections to encroach over a parcel boundary.
 - vii) Setbacks for all building are illustrated in Attachment “C”.
- b) Apartment housing within a mixed-use building shall be located above commercial uses or separated from commercial uses by way of separate entrances and lobby areas.

- c) A 10.0 m wide protected open space or pathway shall be provided as identified on Attachment "C".
- d) The accessory use home business, minor shall be considered only within ground floor units fronting onto the mews.
- e) A retail, general use in this area shall not exceed 150 m².

8.12.3. Attachment 'C' Page 1 of 3

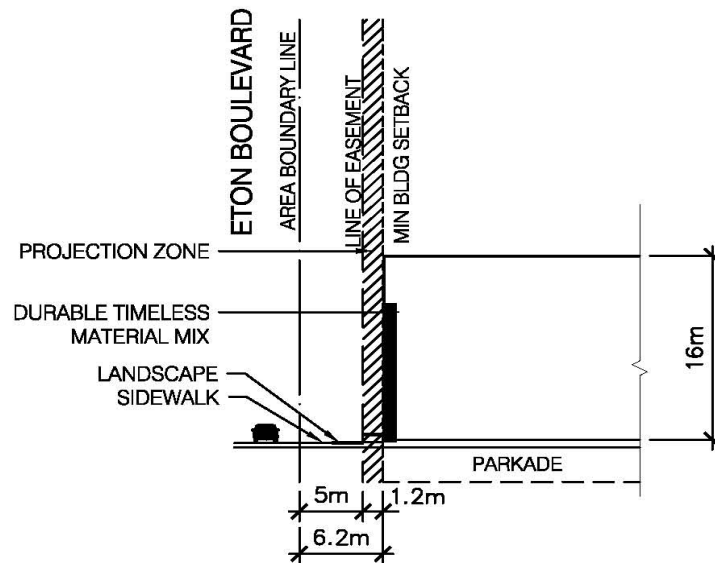
ATTACHMENT "C"
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LEGEND	AREA BOUNDARY LINE	MINIMUM SETBACK	MAXIMUM SETBACK	PROJECTION ZONE	MAXIMUM BUILDING HEIGHT		
Symbol					16.0m	26.0m	40.0m
	Emerald Drive	4.2 m	9.0 m	1.2 m	 PEDESTRIAN CORRIDOR = 10.0m		
	Eton Boulevard	6.2 m	11.0 m	1.2 m			
	South Boundary	19.2 m	24.0 m	1.2 m			
	East Boundary	1.2 m	6.0 m	1.2 m			

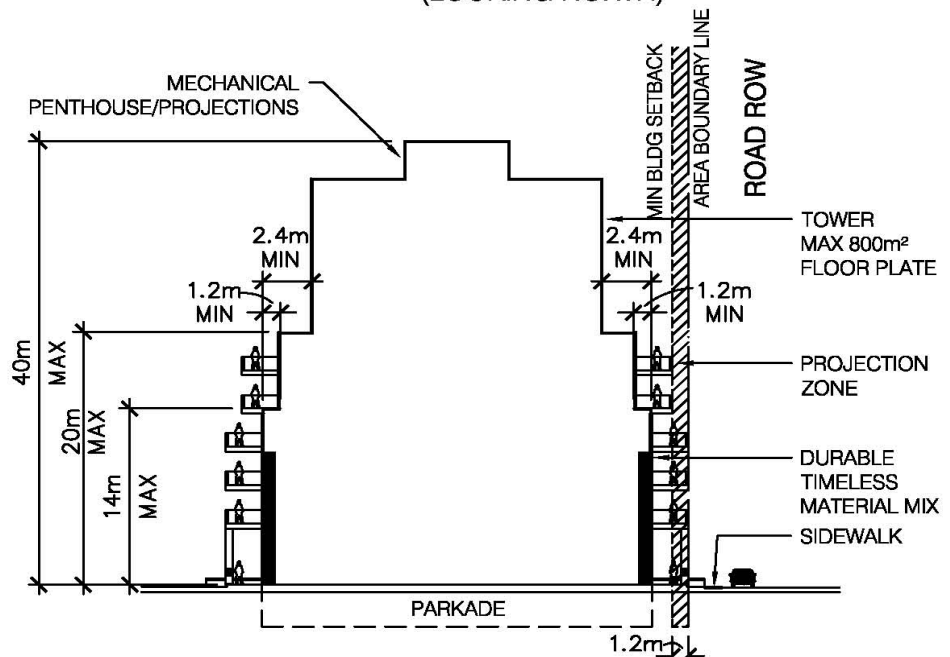
AREA I
EMERALD HILLS URBAN VILLAGE

8.12.4. Attachment 'C' Page 2 of 3

EMERALD HILLS URBAN VILLAGE AREA I



① SECTION - ETON BOULEVARD
(LOOKING NORTH)

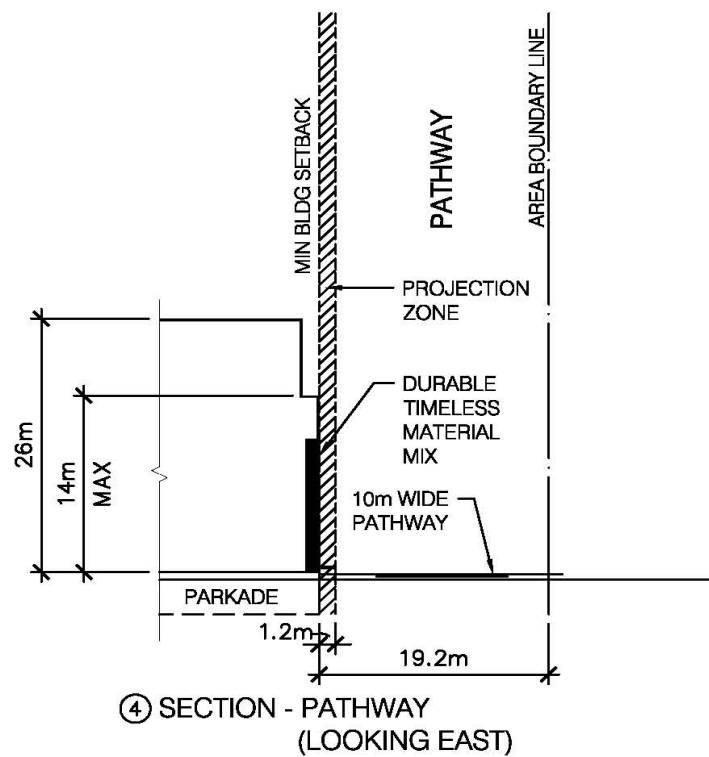
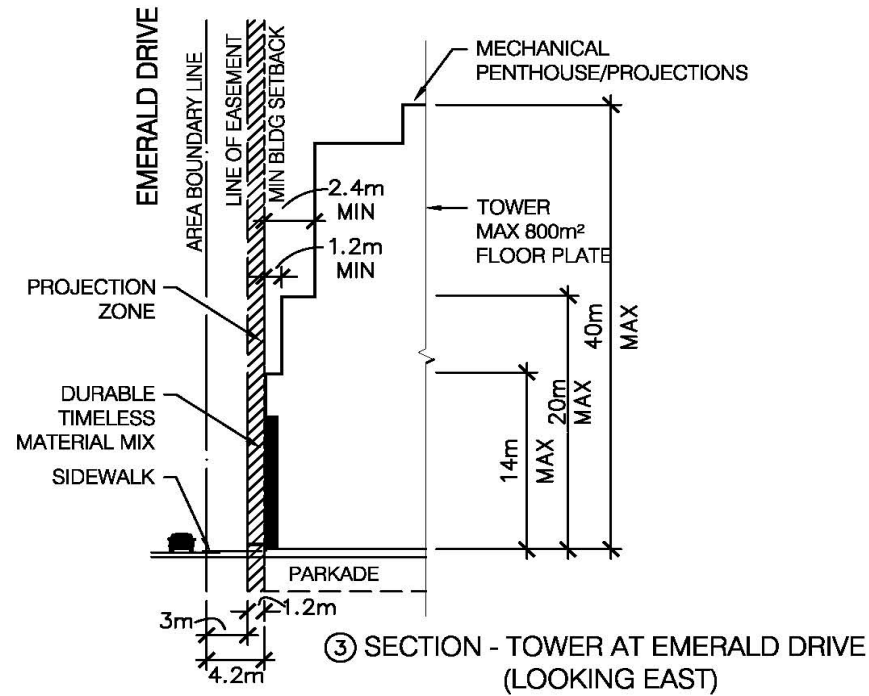


② SECTION - TOWER AT ROAD ROW
(LOOKING NORTH)

8.12.5. Attachment 'C' Page 3 of 3

EMERALD HILLS URBAN VILLAGE

AREA I



8.13 AREA II – MEDIUM TO HIGH DENSITY RESIDENTIAL AND COMMERCIAL

8.13.1. Purpose

To provide for residential apartment housing with compatible commercial uses on the ground floor fronting the mews or internal roadway and public plaza area.

8.13.2. Permitted Uses and Discretionary Uses

Permitted Uses

apartment housing
 care centre, intermediate
 care centre, major
(Bylaw 47-2016 – Mar 28, 2017)
 congregate housing
 home business, minor
 office
 park
 personal service establishment
 retail, convenience
 senior citizen housing
 utility service, minor

Discretionary Uses

business support service
 financial service
 food service, specialty
 group home, minor
 health service, minor
 residential sales centre
 retail, general

8.13.3. Fundamental Use Criteria:

- i) The maximum floor area ratio is 2.4. The minimum floor area ratio is 1.9.
- ii) The maximum site coverage is 40%.
- iii) The minimum height is 12.0 m and the maximum height is 46.0 m. Where a mixed-use building is proposed the Development Officer may allow up to an additional 10% of height. The height shall be transitioned within the area as shown on Attachment "D"
- iv) The maximum building floor plate per floor located above 20m in height is 800m².

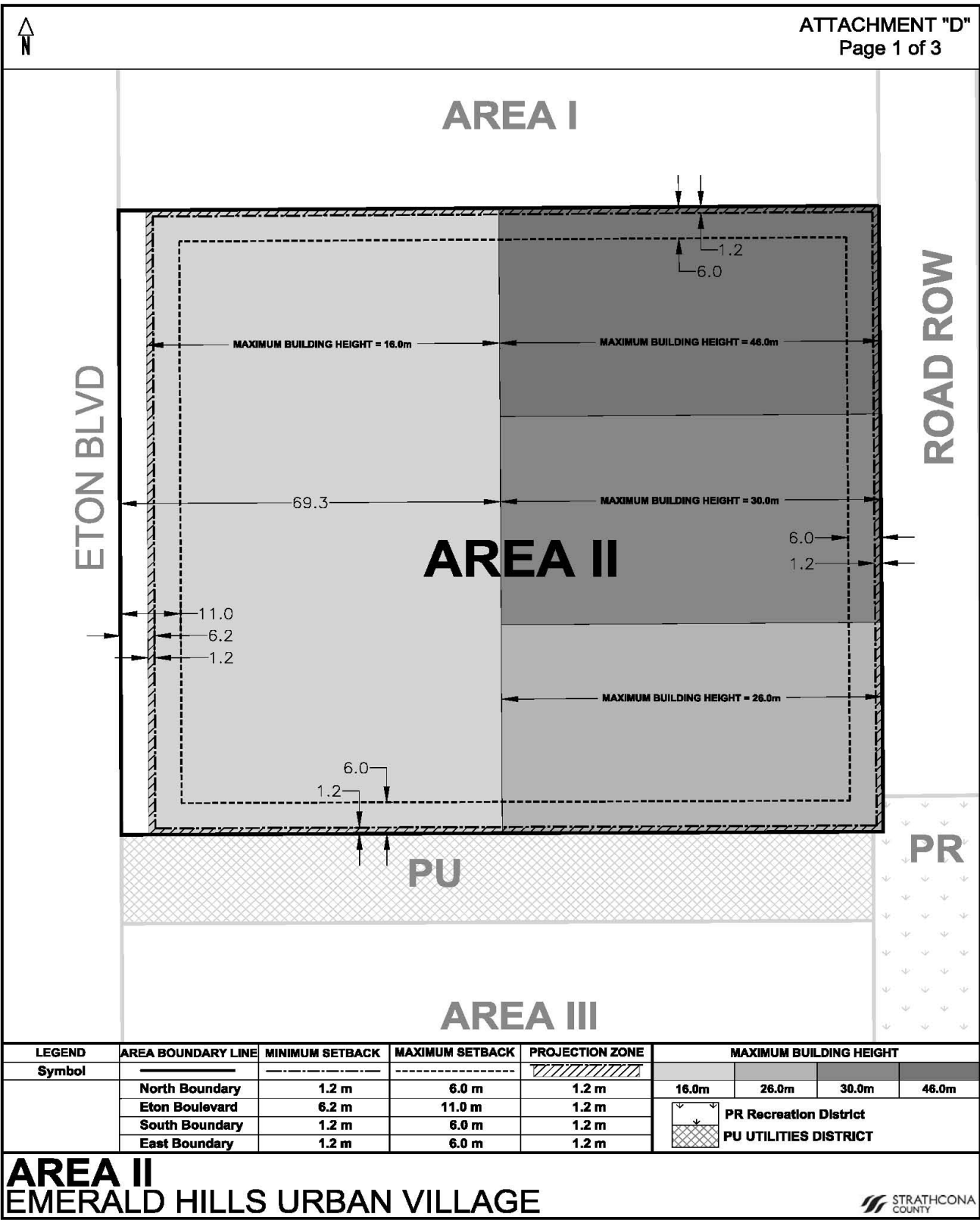
8.13.4. Development Regulations

a) Setbacks

- i) The minimum building setback is 6.2 m and the maximum building setback is 11.0 m to the Development Area boundary line adjacent to Eton Boulevard.
- ii) The minimum building setback is 1.2 m and the maximum building setback is 6.0 m to the north Development Area boundary line.
- iii) The minimum building setback is 1.2 m and the maximum building setback is 6.0 m to the east Development Area boundary line.
- iv) The minimum building setback is 1.2 m and the maximum building setback is 6.0 m to the south Development Area boundary line.
- v) Projections from buildings such as awnings, porticos, eaves, unenclosed balconies, shade protection, and similar architectural features that are not considered part of the interior space of the building may project up to 1.2 m into the minimum building setback. Under no circumstances are buildings or building projections to encroach over a parcel boundary.
- vi) Setbacks for all buildings are illustrated on Attachment "D".

- b) Commercial uses shall be located on the ground floor fronting onto the mews or internal roadway and the central public plaza area within a mixed-use building. There shall be no stand-alone commercial buildings within this area.
- c) The use, apartment housing within a mixed-use building shall be located above commercial uses or separated from the commercial uses by way of separate entrances and lobby areas.
- d) Home businesses and child care facilities shall be considered only within ground floor units.
- e) A retail, general use in this area shall not exceed 150m².

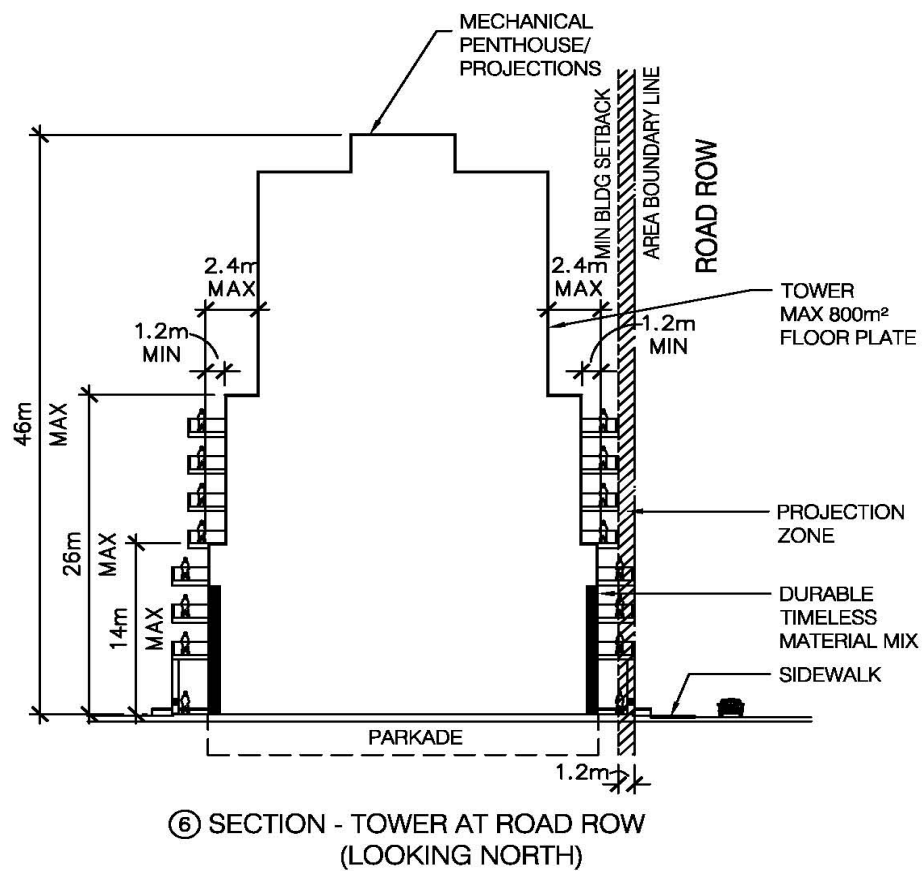
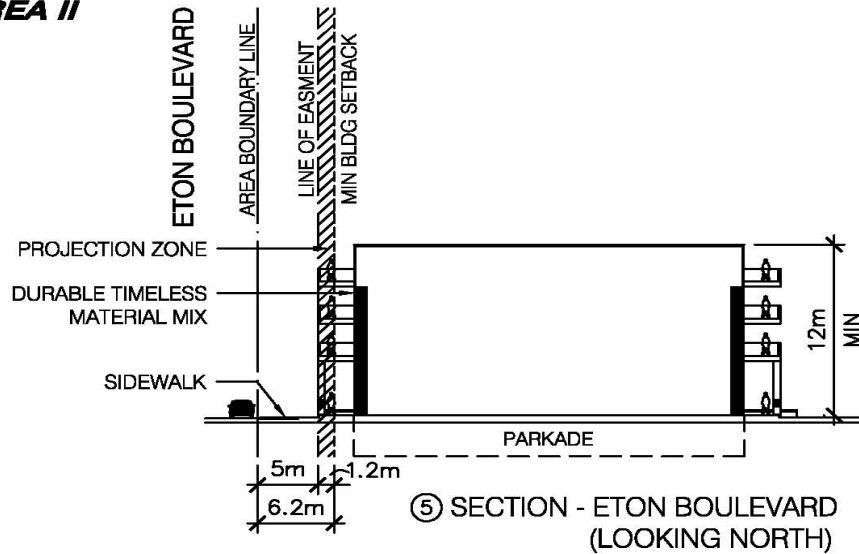
8.13.5. Attachment 'D' Page 1 of 3



8.13.6. Attachment 'D' Page 2 of 3

EMERALD HILLS URBAN VILLAGE

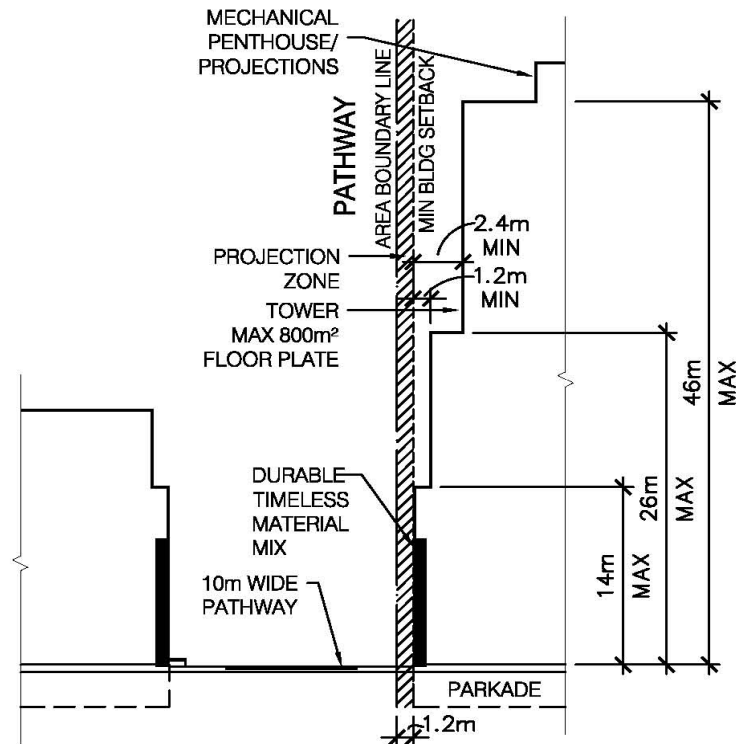
AREA II



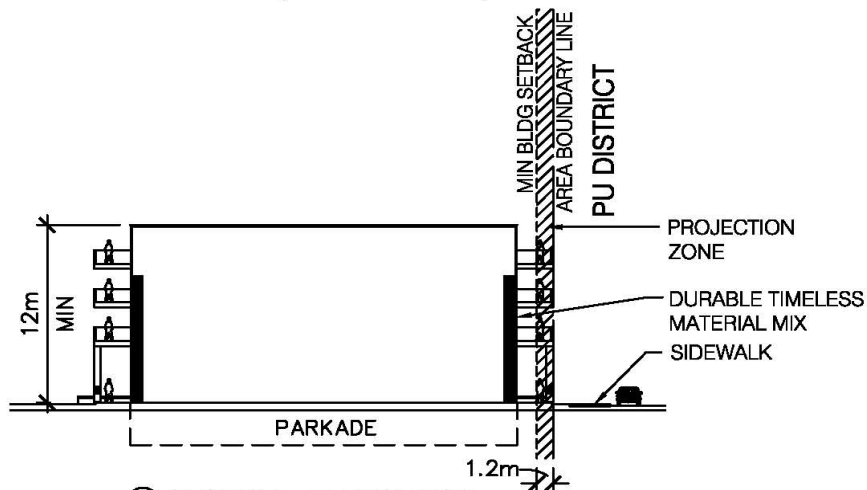
8.13.7. Attachment 'D' Page 3 of 3

EMERALD HILLS URBAN VILLAGE

AREA II



⑦ SECTION - TOWER AT PATHWAY
(LOOKING EAST)



⑧ SECTION - PU DISTRICT
(LOOKING EAST)

8.14 AREA III - MEDIUM TO HIGH DENSITY RESIDENTIAL

8.14.1. Purpose:

To provide for residential apartment housing and a limited opportunity for office and live work units.

8.14.2. Permitted Uses and Discretionary Uses

Permitted Uses	Discretionary Uses
apartment housing group home, minor home business, minor utility service, minor	care centre, intermediate residential sales centre*

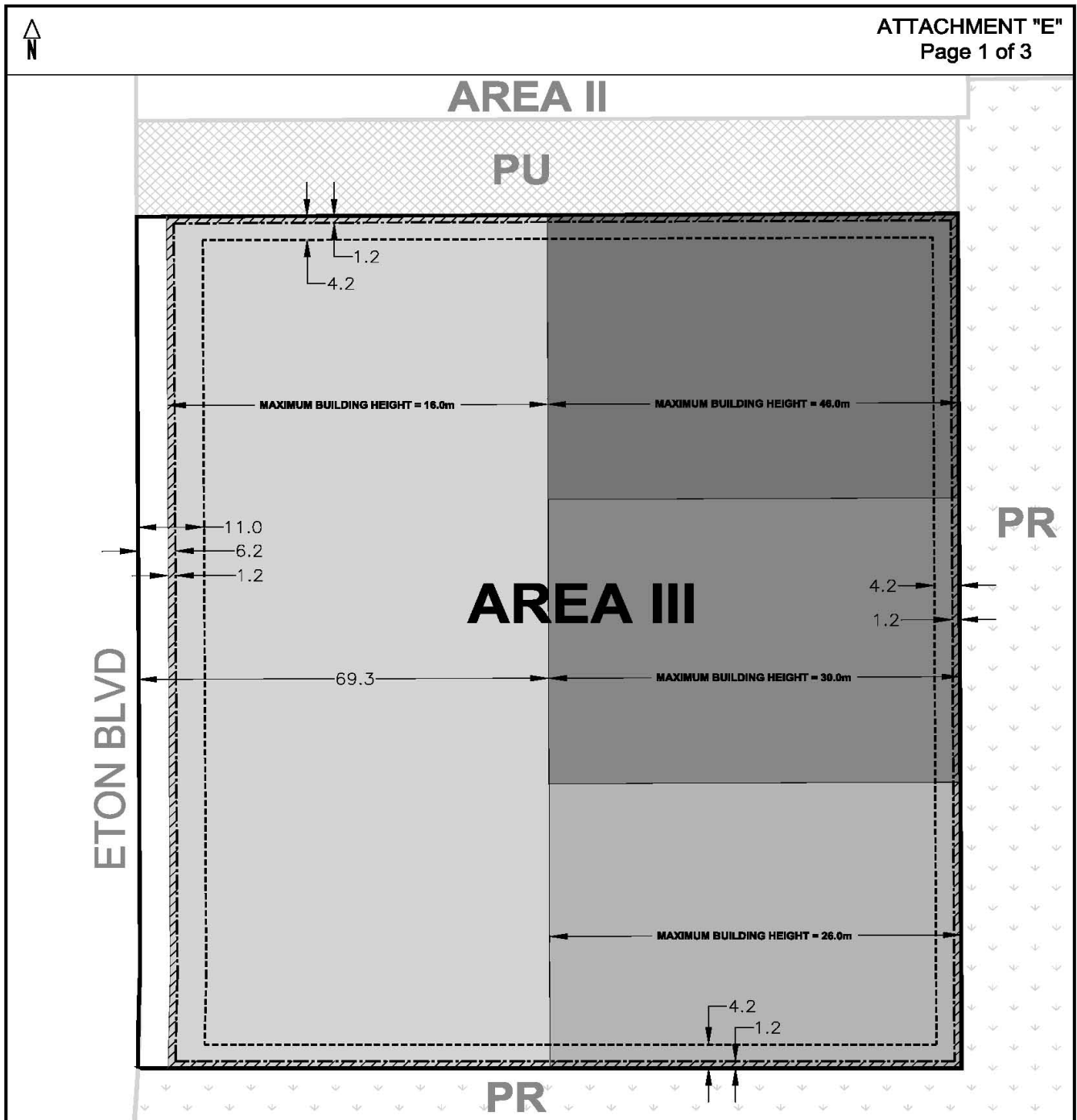
8.14.3. Fundamental Use Criteria

- a) The maximum floor area ratio shall be 2.3. The minimum floor area ratio shall be 1.6.
- b) The maximum site coverage is 40%.
- c) The minimum height is 12.0 m and the maximum height shall be 46.0 m. The height shall be transitioned within the area as shown on Attachment "E".
- d) Other than apartment housing, all other uses in the Area shall be considered accessory to apartment housing and shall only be permitted within the principle building.
- e) The maximum building floor plate per floor located above 20.0 m in height is 800m².

8.14.4. Development Regulations

- a) Setbacks
 - i) The minimum building setback is 6.2 m and the maximum building setback is 11.0 m from the Development Area boundary line adjacent to Eton Boulevard.
 - ii) The minimum building setback is 1.2 m and the maximum building setback is 4.2 m to the north Development Area boundary line.
 - iii) The minimum building setback is 1.2 m and the maximum building setback is 4.2 m to the east Development Area boundary line.
 - iv) The minimum building setback is 1.2 m and the building setback is 4.2 m to the south Development Area boundary line.
 - v) Projections from buildings such as awnings, porticos, eaves, unenclosed balconies, shade protection, and similar architectural features that are not considered part of the interior space of the building may project up to 1.2 m into the minimum building setbacks. Under no circumstances are buildings or building projections to encroach over a parcel boundary.
 - vi) Setbacks for all buildings are illustrated on Attachment "E".
- b) A home business, minor shall be considered only within ground floor units fronting onto the mews or internal roadway and Eton Boulevard.

8.14.5. Attachment 'E' Page 1 of 3

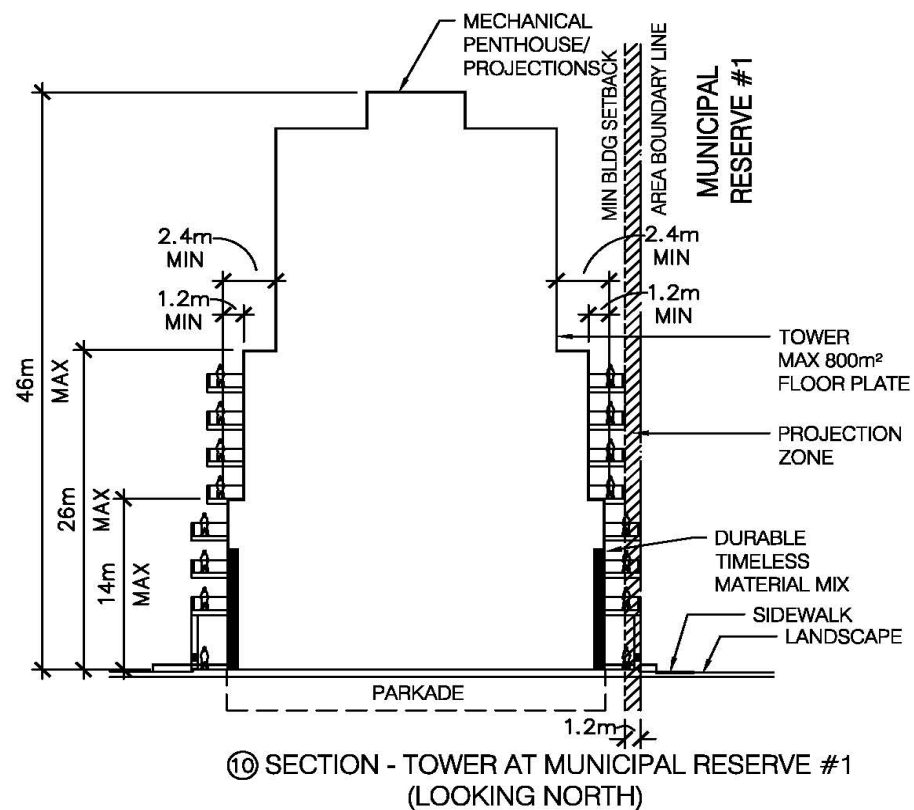
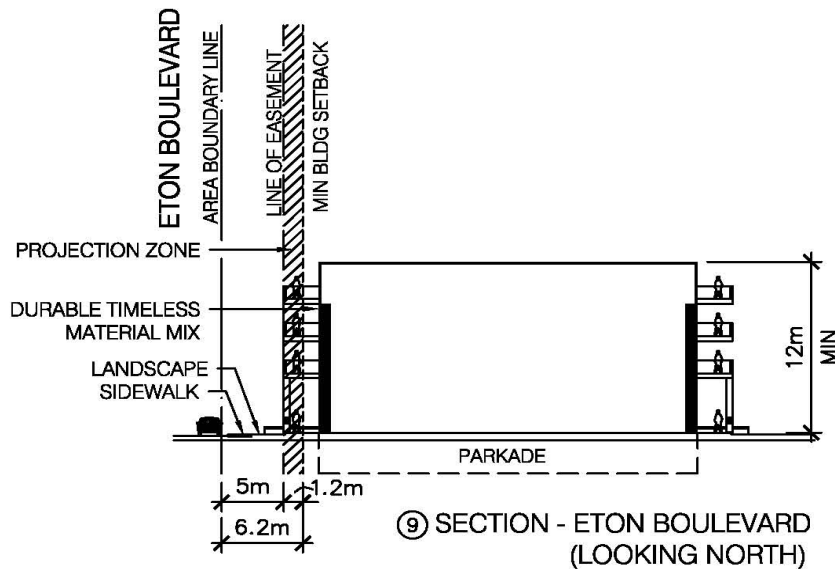
ATTACHMENT "E"
Page 1 of 3

LEGEND	AREA BOUNDARY LINE	MINIMUM SETBACK	MAXIMUM SETBACK	PROJECTION ZONE	MAXIMUM BUILDING HEIGHT			
Symbol					16.0m	26.0m	30.0m	46.0m
	North Boundary	1.2 m	4.2 m	1.2 m				
	Eton Boulevard	6.2 m	11.0 m	1.2 m				
	South Boundary	1.2 m	4.2 m	1.2 m				
	East Boundary	1.2 m	4.2 m	1.2 m				
					PR Recreation District			
					PU UTILITIES DISTRICT			

AREA III
EMERALD HILLS URBAN VILLAGE

8.14.6. Attachment 'E' Page 2 of 3

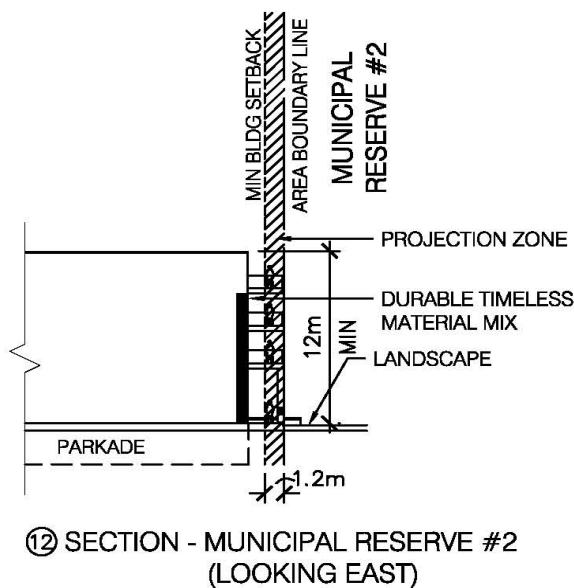
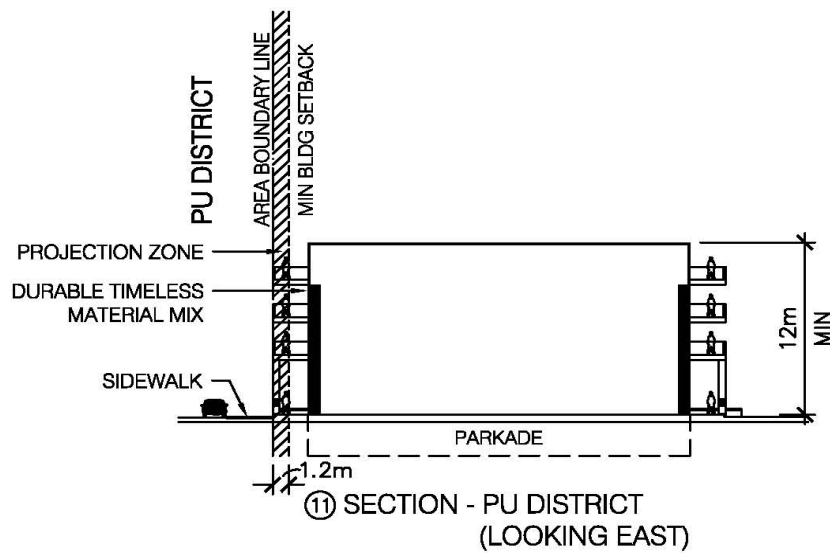
EMERALD HILLS URBAN VILLAGE AREA III



8.14.7. Attachment 'E' Page 3 of 3

EMERALD HILLS URBAN VILLAGE

AREA III



8.15 AREA IV – LOW TO MEDIUM DENSITY RESIDENTIAL

8.15.1. Purpose

To allow for a mix of residential housing options that provide a transition in density and height from the adjacent single and semi-detached dwellings south of Aspen Trail and west of Eton Boulevard to the higher density residential development in the Urban Village.

8.15.2. Permitted and Discretionary Uses

Permitted Uses

apartment housing
dwelling, single
fourplex housing
home business, minor
town housing
semi-detached housing

Discretionary Uses

care centre, intermediate
group home, minor
residential sales centre*
utility service, minor

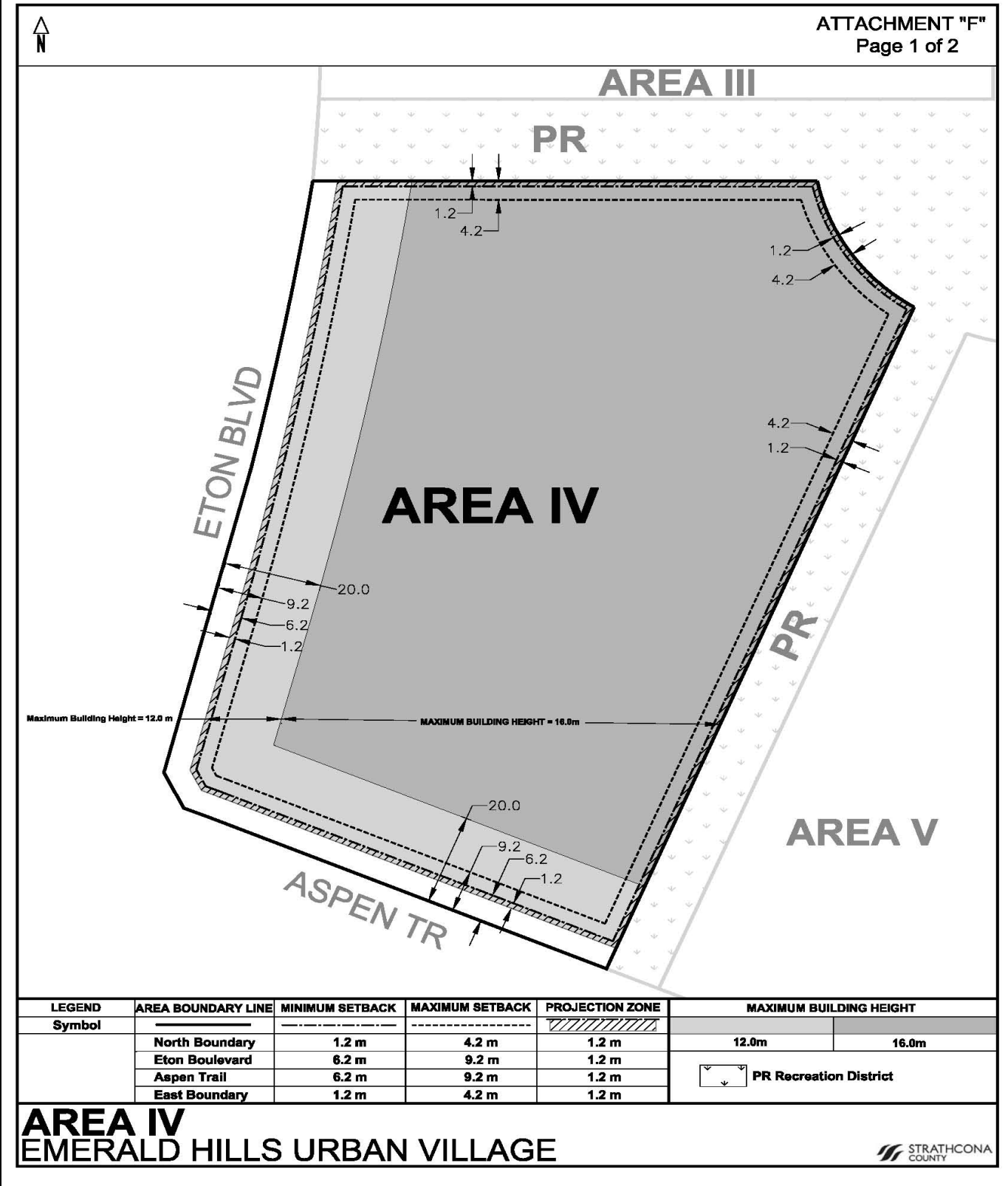
8.15.3 Fundamental Use Criteria

- a) The maximum floor area ratio is 0.7.
- b) The maximum site coverage is 40%.
- c) The maximum height is 16.0 m; except within 20.0 m of Eton Boulevard and Aspen Trail the maximum height is 12.0 m as shown on Attachment "F".

8.15.4. Development Regulations

- a) Setbacks
 - i) The minimum building setback is 6.2 m and the maximum building setback is 9.2 m to the parcel boundary adjacent to Eton Boulevard.
 - ii) The minimum building setback is 1.2 m and the maximum building setback is 4.2 m to the north parcel boundary.
 - iii) The minimum building setback is 1.2 m and the building setback is 4.2 m to the east parcel boundary.
 - iv) The minimum building setback is 6.2 m and the maximum building setback is 9.2 m to the parcel boundary adjacent to Aspen Trail.
 - v) Projections from buildings such as awnings, porticos, eaves, unenclosed balconies, shade protection, and similar architectural features that are not considered part of the interior space of the building may project up to 1.2 m into the minimum building setback. Under no circumstances are buildings or building projections to encroach over a parcel boundary.
 - vi) Setbacks for all buildings are illustrated on Attachment "F".
- b) Development adjacent to Aspen Trail shall be limited to dwelling, town house; dwelling, semi-detached and dwelling, single uses.
- c) For each residential unit proposed, a minimum of 12 m² per/unit of landscaped usable open space shall be provided for common use within the area. In this regard, the useable open space shall be developed into a contiguous common area that is accessible by all the residents within the development. Building setbacks and building code separations between buildings shall not be considered as usable open space.
- d) Home Businesses and child care facilities shall be considered only within ground floor units.

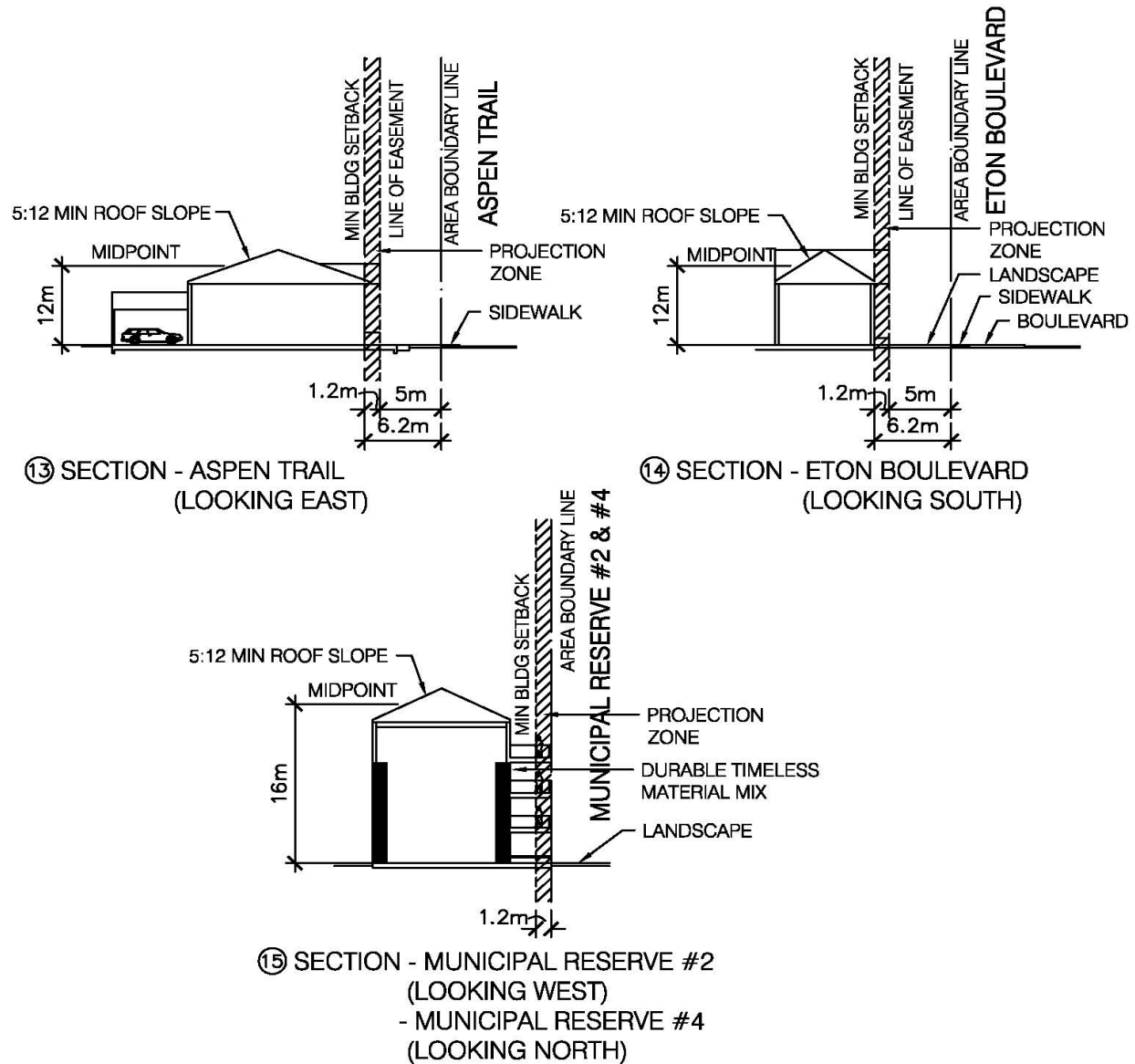
8.15.5. Attachment 'F' Page 1 of 2



8.15.6. Attachment 'F' Page 2 of 2

EMERALD HILLS URBAN VILLAGE

AREA IV



8.16 AREA V – MEDIUM DENSITY RESIDENTIAL

8.16.1. Purpose

To allow for a limited mix of attached residential housing which provides a transition in density and height from the adjacent single and semi-detached dwellings south of Aspen Trail to the higher density residential development in the urban village.

8.16.2. Permitted and Discretionary Uses

Permitted Uses

fourplex housing
home business, minor
park
semi-detached housing
town housing

Discretionary Uses

care centre, intermediate
group home, minor
residential sales centre*
utility service, minor

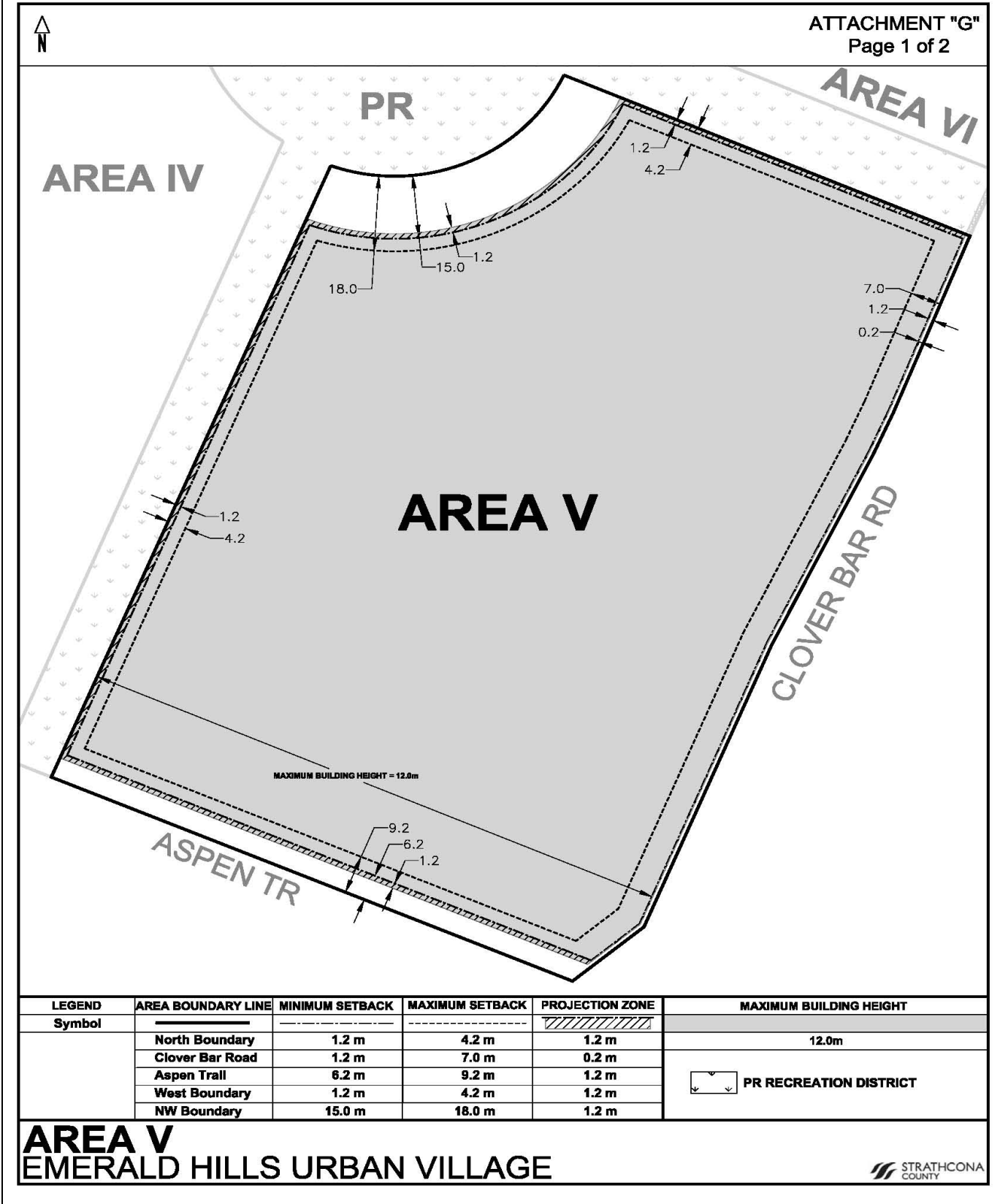
8.16.3 Fundamental Use Criteria

- a) The maximum site coverage is 30%.
- b) The maximum height is 12.0 m.

8.16.4. Development Regulations

- a) Setbacks
 - i) The minimum building setback is 1.2 m and the maximum building setback is 4.2 m to the west parcel boundary.
 - ii) The minimum building setback is 15.0 m and the maximum building setback is 4.2 m to the north parcel boundary, except in the northwest corner where the maximum building setback is 18.0 m as shown on Attachment "G".
 - iii) The minimum building setback is 1.2 m and the maximum building setback is 7.0 m to the parcel boundary adjacent to Clover Bar Road.
 - iv) The minimum building setback is 6.2 m and the maximum building setback is 9.2 m to the parcel boundary adjacent to Aspen Trail.
 - v) Projections from buildings such as awnings, porticos, eaves, unenclosed balconies, shade protection, and similar architectural features that are not considered part of the interior space of the building may project up to 1.2 m into the minimum building setback, except along Clover Bar Road where the maximum projection is 0.2 m. Under no circumstances are buildings or building projections to encroach over a parcel boundary.
 - vi) Setbacks for all buildings are illustrated on Attachment "G".
- b) For each residential unit proposed, a minimum of 20 m²/per unit of landscaped usable open space shall be provided for common use within the area. In this regard, the useable open space shall be developed into a contiguous common area(s) that is is/are accessible by all the residents within the development. Building setbacks and building code separations between buildings shall not be considered as usable open space.

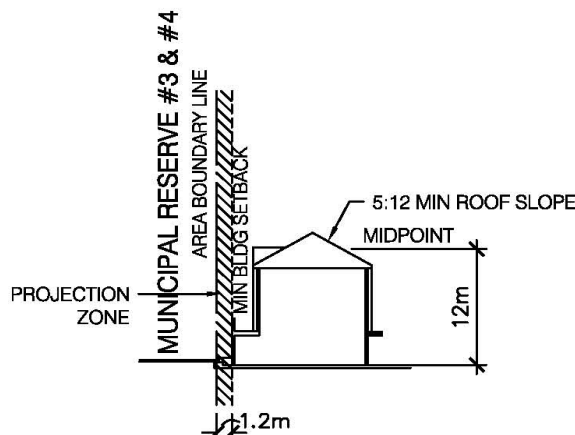
8.16.5. Attachment 'G' Page 1 of 2



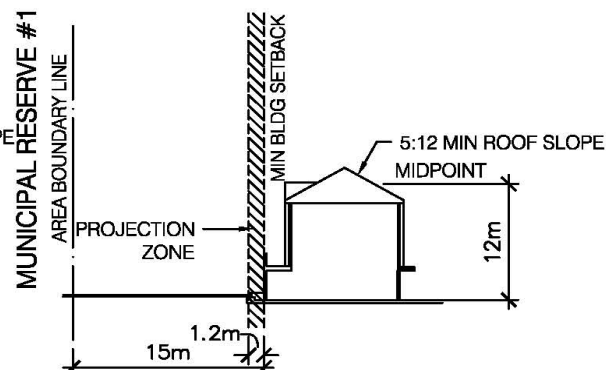
8.16.6. Attachment 'G' Page 2 of 2

EMERALD HILLS URBAN VILLAGE

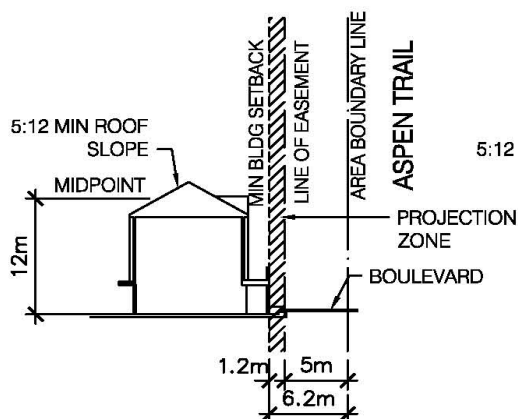
AREA V



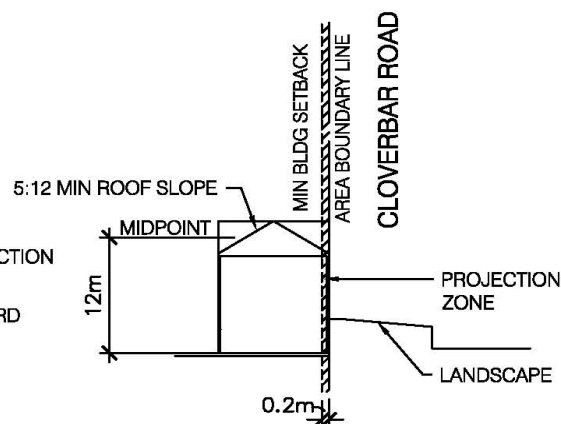
⑩ SECTION - MUNICIPAL RESERVE #3
(LOOKING WEST)
- MUNICIPAL RESERVE #4
(LOOKING NORTH)



⑪ SECTION - MUNICIPAL RESERVE #1
(LOOKING EAST)



⑫ SECTION - ASPEN TRAIL
(LOOKING EAST)



⑬ SECTION - CLOVERBAR ROAD
(LOOKING NORTH)

8.17 AREA VI – MEDIUM TO HIGH DENSITY RESIDENTIAL AND COMMERCIAL

8.17.1. Purpose

To provide a mix of residential, commercial and office uses that serves the residents of the urban village and the vehicular traffic on Clover Bar Road.

8.17.2. Permitted and Discretionary Uses

Permitted Uses

apartment hotel
apartment housing
care centre, intermediate
home business, minor
office
personal service establishment
retail, convenience
utility service, minor

Discretionary Uses

business support service
care centre, major
financial service
food service, specialty
health service, minor
hotel
neighbourhood pub
parking, non-accessory
residential sales centre
retail, general

8.17.3. Fundamental Use Criteria

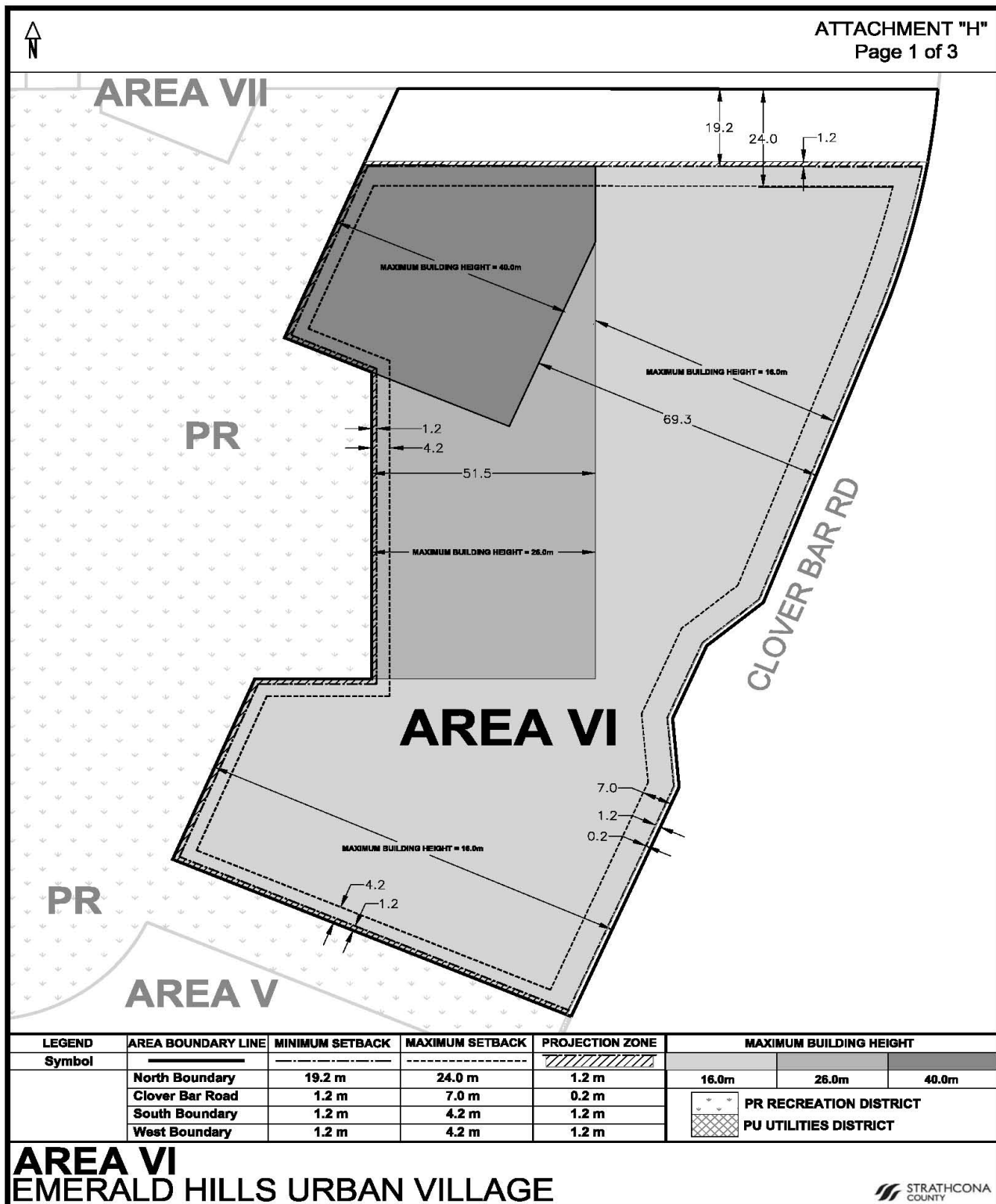
- a) The maximum floor area ratio is 2.1. The minimum floor area ratio is 1.98.
- b) The maximum site coverage is 40%.
- c) The minimum height is 15.0 m and the maximum height is 40.0 m. Where a mixed use building is proposed the Development Officer may allow up to an additional 10% of height. The height shall be transitioned within the area as shown on Attachment "H".
- d) The maximum building floor plate per floor located above 20.0 m in height is 800m².

8.17.4. Development Regulations

- a) Setbacks
 - i) The minimum building setback is 1.2 m and the maximum building setback is 4.2 m to the west Development Area boundary line.
 - ii) The minimum building setback is 1.2 m and the building setback is 4.2 m to the south Development Area boundary line.
 - iii) The minimum building setback is 1.2 m and the maximum building setback is 7.0 m to the Development Area boundary line adjacent to Clover Bar Road.
 - iv) The minimum building setback is 19.2 m and the maximum building setback is 24.0 m to the north parcel boundary.
 - v) The minimum building setback is 6.0 m from any property line that is not also a Development Area boundary line.
 - vi) Projections from buildings such as awnings, porticos, eaves, unenclosed balconies, shade protection, and similar architectural features that are not considered part of the interior space of the building may project up to 1.2 m into the minimum building setback, except along Clover Bar Road where the maximum projection is 0.2 m. Under no circumstances are buildings or building projections to encroach over a parcel boundary.
 - vii) Setbacks for all buildings are illustrated on Attachment "H".

- b) Commercial uses within a mixed-use building shall be located on the ground floor fronting onto the north portion of the development site, the central public plaza area and Clover Bar Road.
- c) An apartment housing use within a mixed-use building shall be located above commercial uses by way of separate entrances and lobby areas.
- d) Development proposed adjacent to the south boundary of the area shall be restricted to apartment housing use.

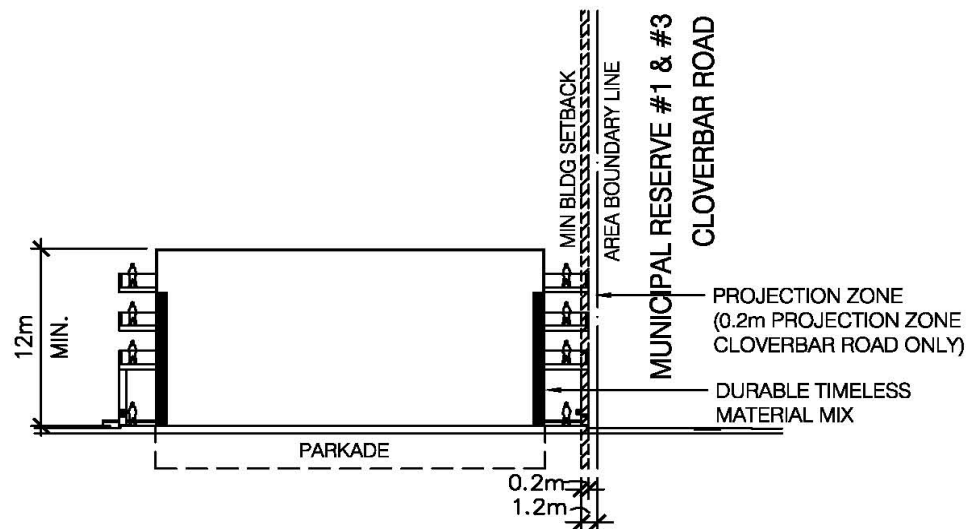
8.17.5. Attachment 'H' Page 1 of 3



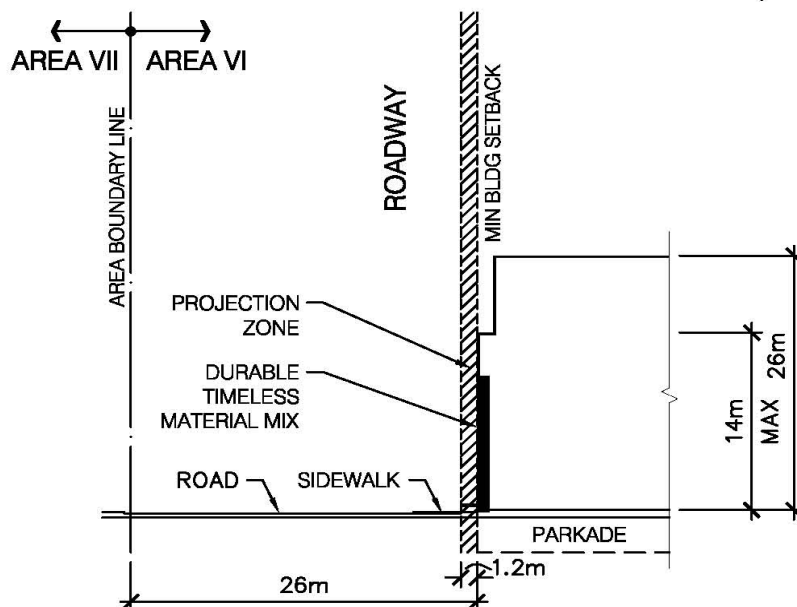
8.17.6. Attachment 'H' Page 2 of 3

EMERALD HILLS URBAN VILLAGE

AREA VI

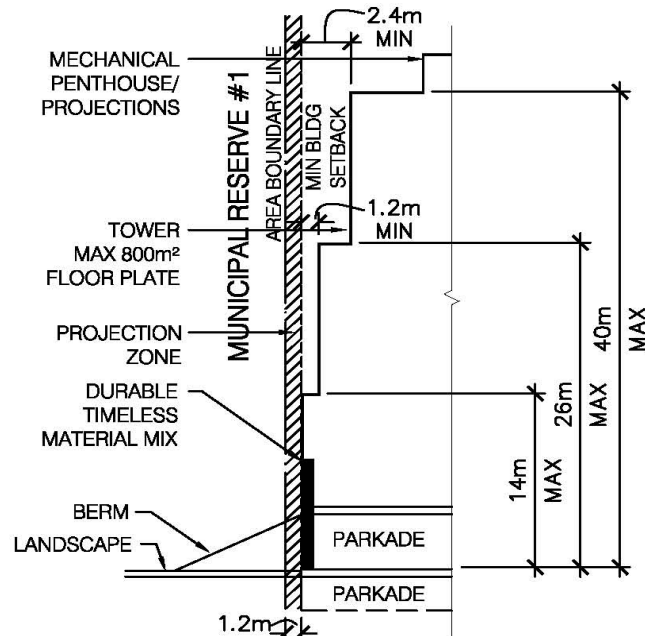


- ② SECTION - SOUTH BUILDING - MUNICIPAL RESERVE #1
(LOOKING SOUTH)
- MUNICIPAL RESERVE #3
(LOOKING EAST)
- SOUTH & NORTHEAST BUILDING - CLOVERBAR ROAD
(LOOKING NORTH)

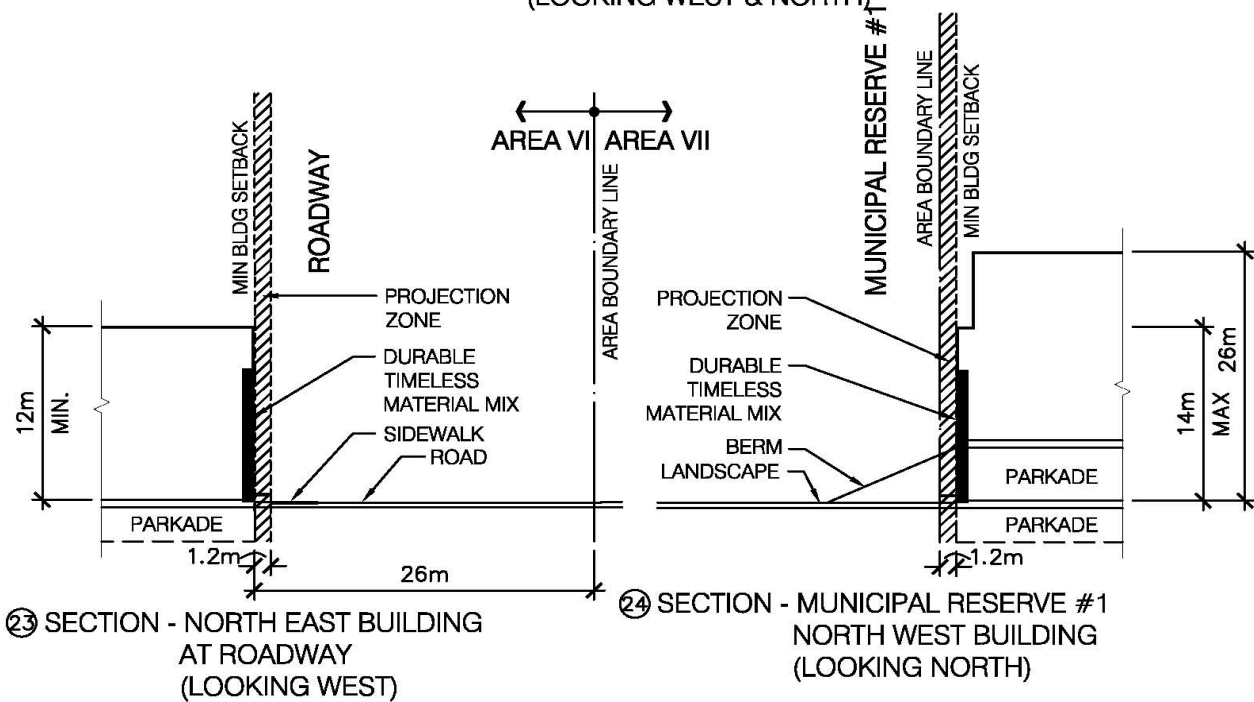


- ② SECTION - NORTH WEST BUILDING
AT ROADWAY
(LOOKING EAST)

8.17.7. Attachment 'H' Page 3 of 3

EMERALD HILLS URBAN VILLAGE**AREA VI**

②② SECTION - TOWER - MUNICIPAL RESERVE #1
(LOOKING WEST & NORTH)



8.18 AREA VII – COMMERCIAL AND HIGH DENSITY RESIDENTIAL

8.18.1. Purpose

To provide a range of commercial uses that help define the urban centre and services both for the Emerald Hills community and Sherwood Park area. The development area includes the opportunity for high density residential development and live work units to enhance the sustainability of the urban village.

8.18.2. Permitted and Discretionary Uses

Permitted Uses

apartment housing
business support service
care centre, intermediate
care centre, major
financial service
food service, restaurant
food service, specialty
government service
health service, minor
home business, minor
information centre
office
personal service establishment
religious assembly, minor*
retail, convenience
retail, general
town housing (live/work)

Discretionary Uses

animal grooming
commercial school
convenience vehicle rental
flea market
food service, drive-in
gas bar
household repair service
neighbourhood pub
parking, non-accessory
recreation, indoor
residential sales centre
retail, alcohol
retail, cannabis*
(Bylaw 16-2018 – April 24, 2018)
utility service, minor

8.18.3. Fundamental Use Criteria

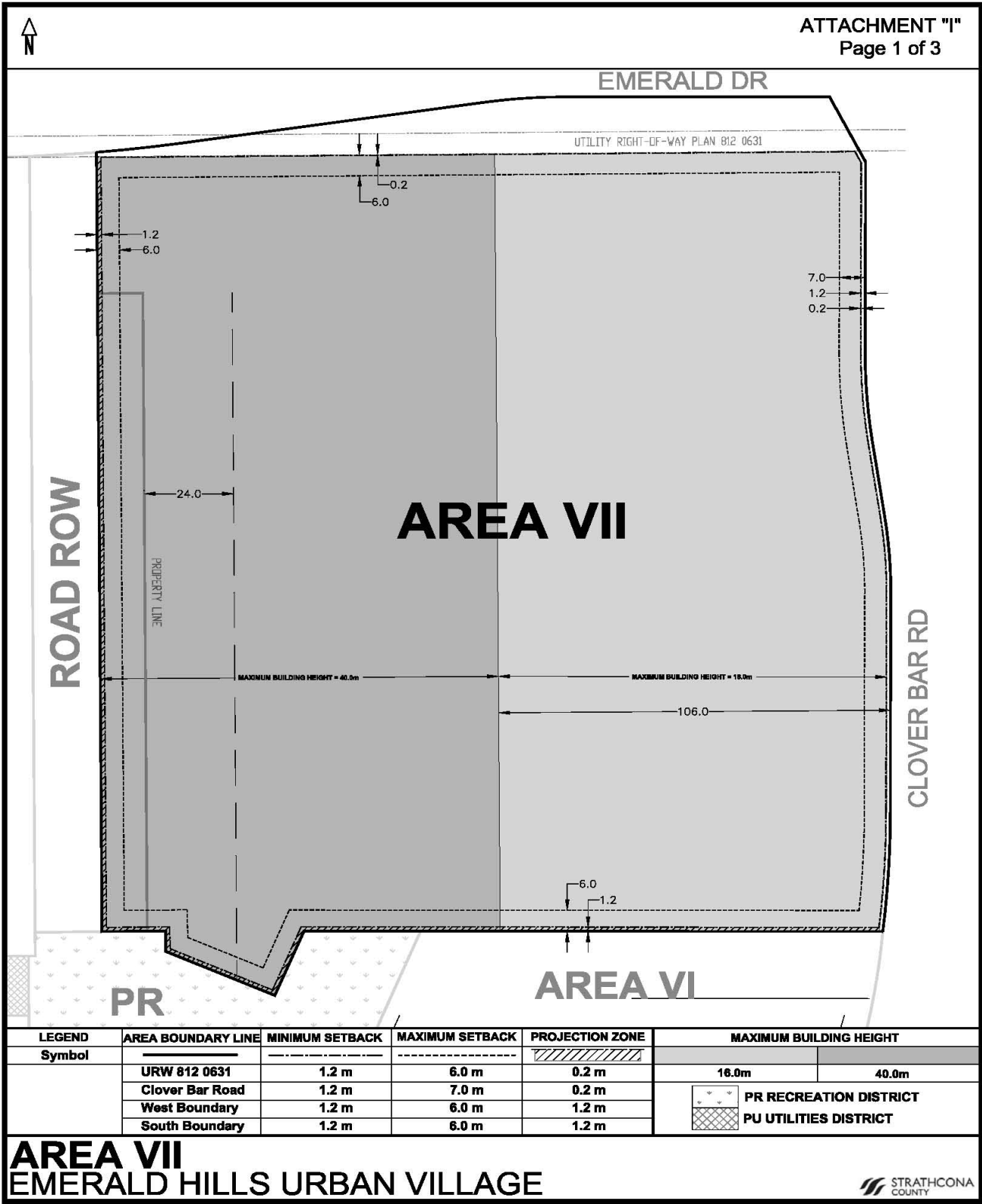
- a) The maximum floor area ratio is 0.5.
- b) The maximum site coverage is 35%.
- c) The maximum height is 40.0 m. Where a mixed use building is proposed the Development Officer may allow up to an additional 10% of height. Height shall be transitioned within the area as shown on Attachment "I".
- d) The maximum building floor plate per storey located above 20.0 m in height is 800 m².
- e) Where additional underground on-site parking is provided; and a transportation impact assessment is approved to the satisfaction of the County; and an intensification plan is approved by County Council; the total floor area ratio may be increased to a maximum of 1.5, and the maximum site coverage may be increased to 50%.

8.18.4. Development Regulations

- a) Setbacks
 - i) The minimum building setback is 1.2 m and the maximum building setback is 6.0 m to the west Development Area boundary line.
 - ii) The minimum building setback is 1.2 m and the maximum building setback is 6.0 m to the south Development Area boundary line.
 - iii) The minimum building setback is 1.2 m and the maximum building setback is 7.0 m to the Development Area boundary line adjacent to Clover Bar Road.
 - iv) The minimum building setback is 0.2 m and the maximum building setback is 5.0 m south of the existing Utility Right-of-Way (Plan 812 0631) adjacent to Emerald Drive.

- v) The minimum building setback within a Development Area is 0 m and the maximum building setback is 24.0 m from any property line that is not also a Development Area boundary line.
- vi) Projections from buildings such as awnings, porticos, eaves, unenclosed balconies, shade protection, and similar architectural features that are not considered part of the interior space of the building may project up to 1.2 m into the minimum building setback, except along Clover Bar Road and Emerald Drive where the maximum projection is 0.2 m. Under no circumstances are buildings or building projections to encroach over a parcel boundary.
- vii) Setbacks for all buildings are illustrated on Attachment "I".
- b) A 3.0 m wide protected open space or pathway shall be provided that links the Mews to the commercial development internal to the site as shown on the Master Site Plan, to the satisfaction of the Development Officer.
- c) Buildings with only non-residential uses shall front onto Emerald Drive and Clover Bar Road.
- d) An apartment housing use within a mixed-use building shall be located above commercial uses or separated from commercial uses by way of separate entrances and lobby areas.
- e) The live work units shall be located along the mews or internal roadway.
- f) The uses commercial school, convenience vehicle rental, flea market and recreation, indoor may be considered, if in the Development Officer's opinion the proposed development would not materially interfere with or affect the use and parking availability of neighbouring uses or development areas.
- g) Vehicular oriented commercial uses shall be located so that they do not front onto the central public plaza area, and must be minimum of 30m from the entrance of buildings where residential housing (except live work units) are located.

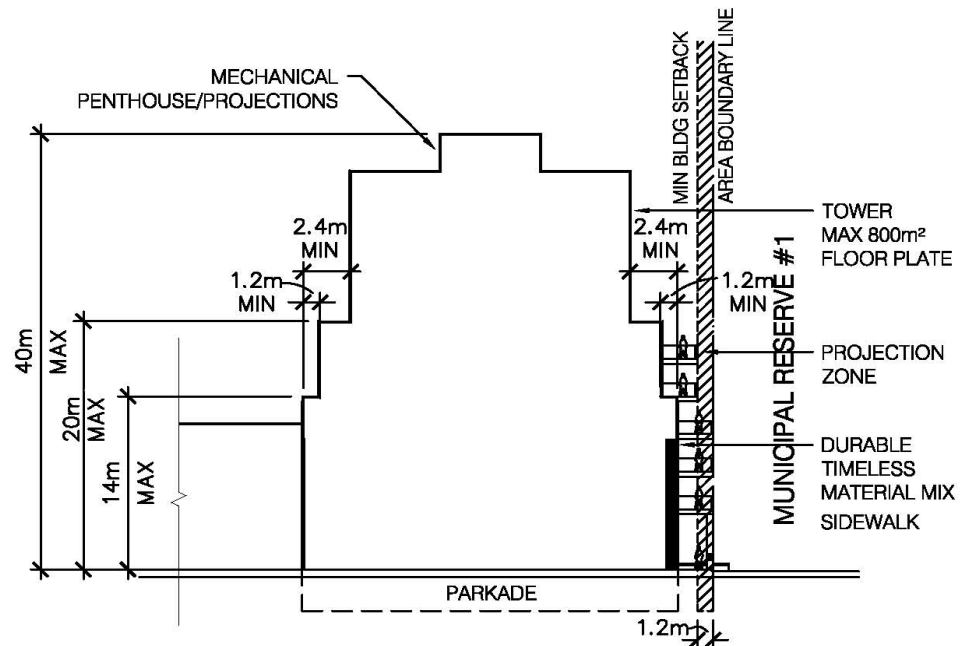
8.18.5. Attachment 'I' Page 1 of 3



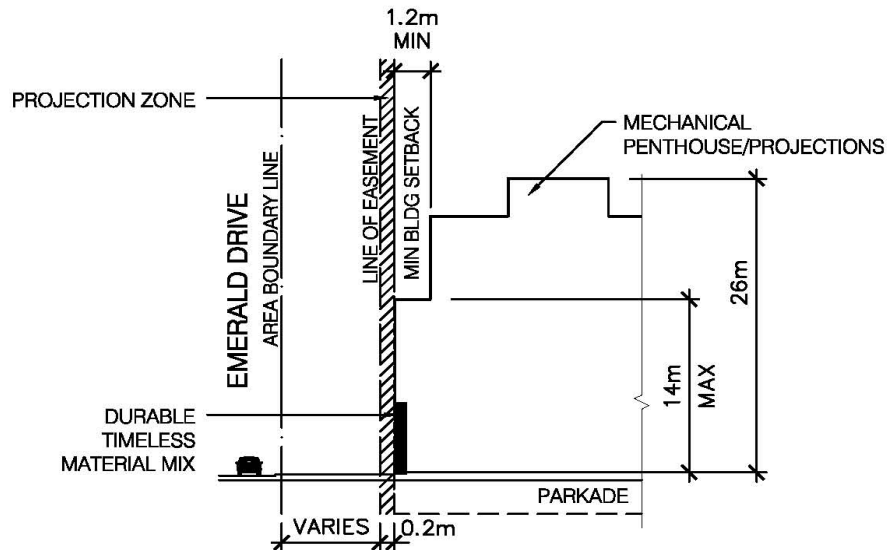
8.18.6. Attachment 'I' Page 2 of 3

EMERALD HILLS URBAN VILLAGE

AREA VII



②5 SECTION - TOWER AT PUBLIC MUNICIPAL RESERVE #1
(LOOKING EAST)

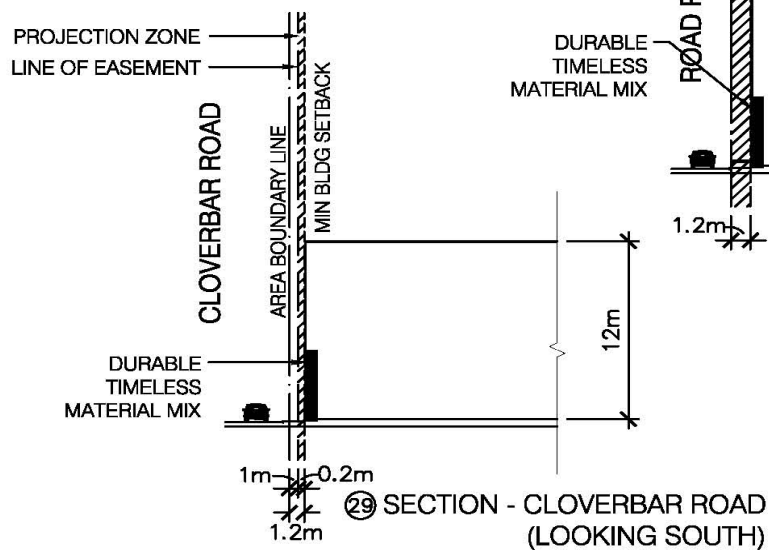
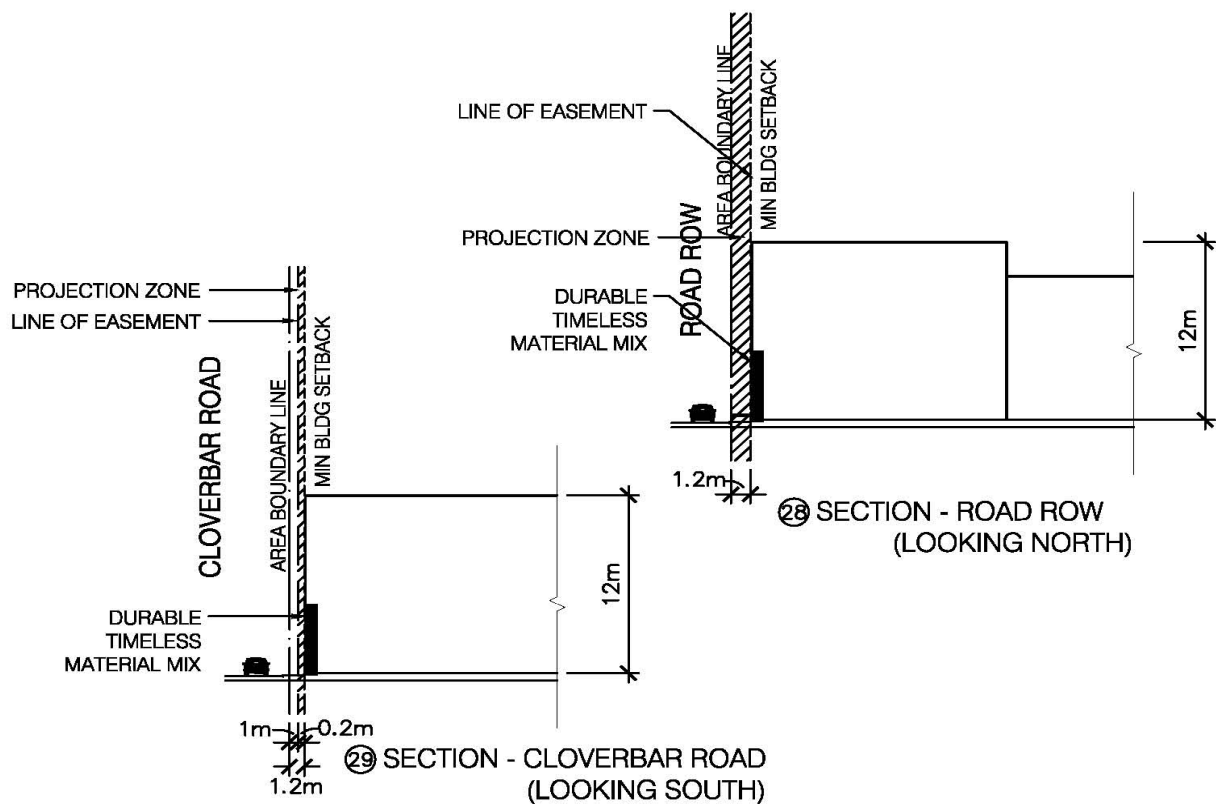
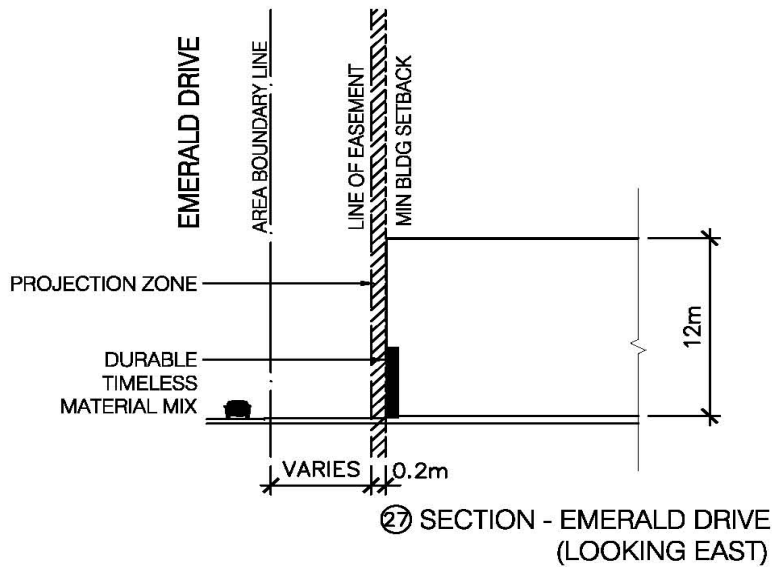


②6 SECTION -OFFICE TOWER EMERALD DRIVE
(LOOKING EAST)

8.18.7. Attachment 'I' Page 3 of 3

EMERALD HILLS URBAN VILLAGE

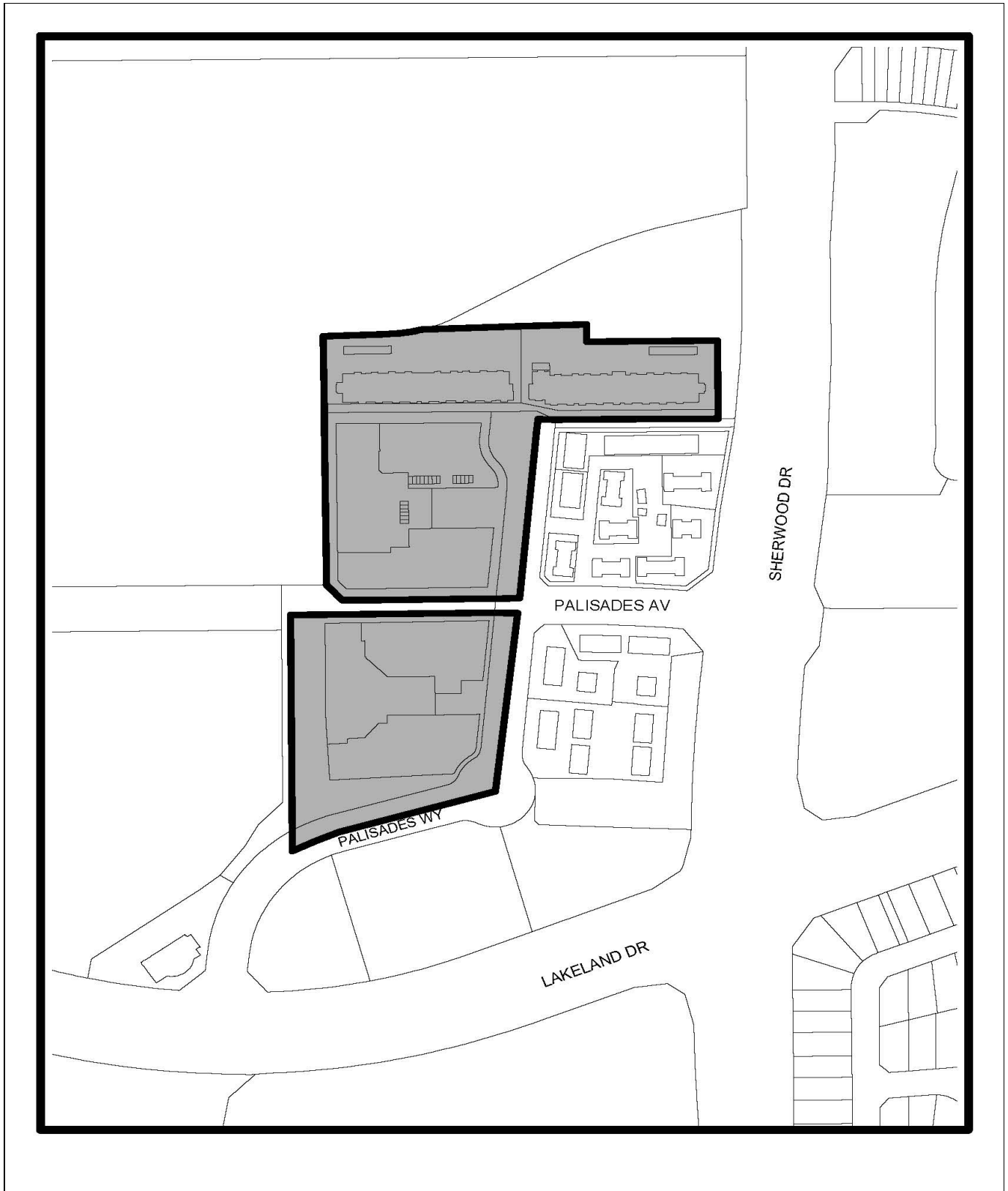
AREA VII



8.19 OTHER REGULATIONS

- 8.19.1.** The term Residential – Live Work Units shall be defined using Home Business, Intermediate regulations. The exception to the regulations under Section 6.12.3 shall be:
- a) to permit the use as a permanent use; and
 - b) to permit up to 50% of the floor area of the dwelling unit for the home business use.
- 8.19.2.** In addition to the regulations listed in the district, permitted and discretionary uses are subject to the applicable regulations contained within this Bylaw, unless such regulation is specifically excluded or modified by the Urban Village Zoning District.
- 8.19.3.** A Development Officer shall consider and decide upon all development permit applications within this Zoning District.

CENTENNIAL VILLAGE



8.20 UV3 – CENTENNIAL VILLAGE ZONING DISTRICT

8.20.1. Purpose

To establish a site-specific Urban Village Zoning District, compliant with the Urban Village #2 provisions of the North of Lakeland Drive Area Concept Plan, that defines specific development guidelines for multiple residential housing.

8.20.2. Area of Application

This Zoning District shall apply to those parts of the NE 3-53-23-W4 and SE 10-53-23-W4, located west of Sherwood Drive and north of Lakeland Drive, as indicated by the above map.

8.20.3. Listed Uses

Permitted Uses

apartment housing
home business, minor*

Discretionary Uses

child care facility, intermediate
home business, intermediate
residential sales centre*

8.20.4. Development Regulations

- a) The maximum density is 100 units per hectare.
- b) The maximum site coverage is 40%.
- c) The maximum height is 16.0 m.
- d) The minimum front yard setback is 6.0 m.
- e) The minimum side yard setback is 8.0 m.
- f) The minimum rear yard setback is 7.5 m.

8.20.5. Landscaping and Screening Regulations

- a) In addition to the landscaping requirements of this Bylaw the following shall apply to development within this zoning district:
 - i) Any proposed fencing shall share a common design theme and be architecturally consistent with the architectural design of each phase of development.
 - ii) Fencing shall be installed between each phase of development where required by the Development Officer.
 - iii) Landscaping of the required front, rear and side yards of each phase of the development shall ensure that trees and shrubs be included on the landscape plan to meet the following requirements:
 - i) One tree for each 25m² and one shrub for each 15m² of required yard;
 - ii) One tree for each 15m² and one shrub for each 10m² of required parking area island provided that there will be a minimum of one tree per parking island.

8.20.6. Design Standards

- a) In addition to the Design Standards within this bylaw the following shall apply to development within this zoning district:
 - i) Each phase of development shall share a common architectural design theme and principal design elements, finishing materials, colours and roof style shall be applied to each building, with minor variations, regardless of the staging sequence of the project.
 - ii) All building sides shall be treated as a principal façade and finished in a consistent, harmonious architectural manner.

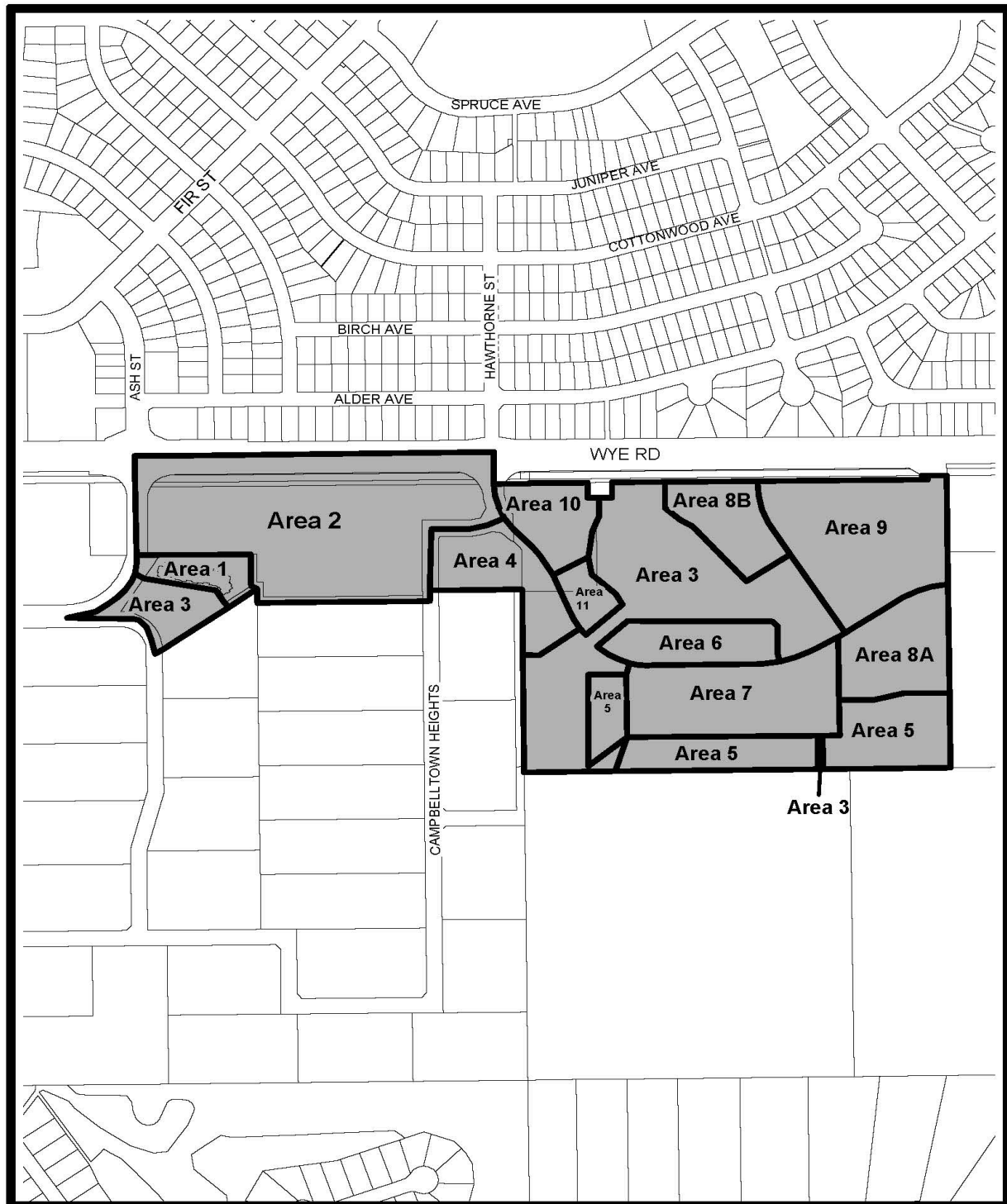
8.20.7. Other Development Regulations

- a) In addition to the regulations above, the listed uses are subject to the applicable regulations contained within the Land Use Bylaw, unless such regulation is specifically excluded or modified by the Urban Village Zoning District.

8.20.8 Development Permits

- a) A Development Officer shall consider and decide upon all Development Permit Applications within this Zoning District.

SALISBURY VILLAGE



8.21 UV4 – SALISBURY VILLAGE ZONING DISTRICT

1.0 Purpose

This District regulates Phase 1 (Wye Road Crossing) and Phase 2 (Salisbury Village) as delineated in the Salisbury Village Area Structure Plan for providing a high quality 'urban village' environment with a range of residential housing, integrated parks and open spaces, and potential for both large and small format commercial uses designed as standalone or mixed use. It also provides on-site development controls addressing aesthetics and sustainable development practices to improve occupant well-being, environmental performance and economic return of buildings.

2.0 Area of Application

This district shall apply to parts of NW and NE of Section 22-52-23-W4 located south of Wye Road, east of Ash Street and west of Mitchell Street, as illustrated on Attachment "A".

3.0 Subdivision Regulations

- 3.1.** Subdivision within the district shall conform to the boundaries of the individual development Areas as illustrated on Attachment "A", excepting that Area 5 and Area 7 shall only be subdivided per the Subdivision Regulations specified in their corresponding Area regulations;
- 3.2.** Subdivision is permitted for the creation of parcels for individual buildings within all Areas shown on Attachment "A"; however, Floor Area Ratios (FAR), site coverage, and setbacks described within this District shall be understood per the original "Area" boundary in the event of future Area subdivision.
- 3.3.** Where the subdivision is or and individual lot or bareland condominium the regulations in Section 6.2 – Municipal Services of the Strathcona County Land Use Bylaw shall apply.

4.0 Sustainability Development Regulations

4.1. Sustainable Urban Neighbourhood (SUN) Design Team

The Development Officer shall prior to the acceptance of a Development Permit application for a principal building within this district, consult with the Coordinator of the Sustainable Urban Neighbourhood (SUN) Design Team to determine if the proposed application is consistent with the district.

Should the Coordinator of the SUN Design Team deem that the application is consistent with the district the application will be reviewed by the SUN Design Team as part of the regular Development Permit application circulation process. Should the Coordinator deem that the application is inconsistent with the district the application will be reviewed by the SUN Design Team prior to acceptance of the Development Permit application.

The applicant shall submit documentation pertaining to the consistency of the application with the 12 Sustainability Themes described in the Salisbury Village Area Structure Plan and Section 5.0 – General Development Area Regulations within this District. The SUN Design Team will evaluate the development, and it is understood that not all of the 12 sustainability themes or Green Buildings and Sites regulations may be applicable to all developments.

Following review of the proposal, the SUN Design Team will provide the Development Officer with an assessment that indicates how well the proposed application performs relative to the

ASP's sustainability themes and the green buildings and sites objectives of the District. The assessment may also include recommendations for improvements.

The assessment will be provided to the applicant to advise how well they have achieved sustainability and will be used to inform the decision of the Development Officer in the application approval process.

5.0 General Development Area Regulations

5.1. Urban Design

5.1.1. Development Permit applications shall evaluate by the Development Officer in the context of the following Urban Design Regulations which shall be adhered to in preparation of the development plans for Phase 1 and Phase 2 within the urban village.

a. Green Buildings and Sites

- i. Green Building Certification is encouraged for Commercial and Multi-Family Residential buildings, and development applications shall specify how development is addressing the following green building and site considerations:
 - A. Buildings should utilize high-efficiency plumbing fixtures to reduce wastewater volumes per targets specified in the Salisbury Village Area Structure Plan.
 - B. Fundamental building elements and systems should be designed, installed, and calibrated to operate as intended using best practice commissioning procedures to verify the installation, functional performance, training and operation, and maintenance program.
 - C. Buildings should be designed to comply with minimum insulated values of R-20 for exterior walls and R-40 for roof.
 - D. Buildings should utilize a minimum of 75% highly reflective and high emissivity roofing surfaces to reduce heat affect.
 - E. Building plans material specifications should promote rapidly renewable building materials and products, made from plants typically harvested within a ten-year cycle or shorter (e.g. bamboo flooring, wool carpets, straw board, cotton batt insulation, linoleum flooring, poplar OSB, and others), by stating a realistic usage goal (% of) and identifying suppliers to support this goal.
 - F. Building mechanical systems should provide energy efficient equipment applicable but not limited to HVAC systems, hot water systems, lighting, and appliances.
 - G. Building material specifications should promote use of wood-based materials and products, certified per the Forest Stewardship Council's Principles and Criteria, by establishing a realistic project goal for FSC-certified wood products, identifying usage on the building plans, and identifying suppliers to support this goal.
 - H. Building HVAC systems design should optimize air change effectiveness and ensure comfort criteria per the standard and design of the building envelope.
 - I. Buildings should utilize, and specify in building plans, the use of low-VOC materials, paints, coatings, and carpet products.

- J. Buildings should utilize, and specify in building plans, the use of wood and agri-fibre products that contain no added urea-formaldehyde resins
 - K. Developments should seek to minimize impervious surfaces by use of smaller building footprints, bio-retention systems, porous pavement or pavers, green roofs, and rainwater capture.
 - L. Developments should seek to moderate solar heat by providing shade to private hardscape areas (e.g. courtyards, parking lots, parking structures, internal pedestrian corridors) using structures, and/or shading from tree canopies (within 10 years of landscape installation) and the use of high reflectivity and/or open grid paving materials,
 - M. Building siting should take into consideration solar benefits/opportunities, and avoiding adverse on and off site microclimatic effects related to wind and shadowing.
- ii. An Erosion and Sediment Control Plan shall be provided for Commercial and Multi-Family Residential development sites considering silt fencing, sediment traps and sediment basins during construction.
 - iii. Commercial and Multi-Family Residential developments should develop and implement a Construction Waste Management Plan quantifying material diversion goals including: the recycling and/or salvage at least 25% of construction materials (e.g. cardboard, metal, brick, concrete, plastic, clean wood, glass, and gypsum wallboard), demolition and land clearing waste; designating a specific area on the construction site for recycling; and, identifying construction haulers and recyclers to handle the designated materials.
- b. Architectural Treatment of Buildings
- i. An overall architectural theme is not prescribed for Salisbury Village; however, each individual Phase shall have a consistent architectural theme within its boundary and be compatible with the theme of an abutting Phase.
 - ii. All building facades should use compatible and harmonious exterior finishing materials.
 - iii. Building colours should be harmonious and provide visual interest in all seasons.
 - iv. Mechanical equipment on the roof of any building should be concealed by incorporating it within the building roof or by screening it in a way that is consistent with the character and finishing of the building.
 - v. Blank walls on commercial buildings that exceed a length of 12m should be avoided by articulating the facades, adding glazing where practicable and adding definition through colour or material details.
 - vi. Commercial buildings should feature doorways and windows at ground level, as well as weather protection features to provide an active, safe, and inviting *main entrance* to buildings.
- c. Building Height, Massing and Transitions
- i. Perceived height and massing should be minimized through variation in building setbacks, building orientation, roof treatment, use of glazing and articulation, the choice of exterior materials and colours, and landscaping.
 - ii. Buildings should provide a transition in height and massing in relation to the surrounding areas.

- iii. Buildings (especially residential dwellings) should be sited and oriented to minimize their impact on other buildings, considering such things as ventilation, quiet, visual privacy, and views.
- iv. Transition should be provided to existing residence areas to reduce noise, visual sensitivities, and increase amenity by methods that may include a sound wall, earth berm, walkway, and tree/shrub planting.
- v. Phase 1 buildings should be located to reduce noise affect from Wye Road on the adjoining neighbourhood south of Wye Road.

d. Streetscape

- i. Buildings should be configured to frame views and highlight key development features that contribute to the area's Urban Village character.
- ii. Building facades for commercial and multifamily residential buildings should be oriented to front onto streets, where possible, to create an attractive public realm and provide a sense of ownership and safety for pedestrians.
- iii. Larger buildings with long street frontages should be designed with detail and articulation to create architectural interest.
- iv. Site entrances and edges should receive special design attention to help ensure the development presents an attractive and inviting face to surrounding areas.
- v. Phase 2 buildings in Areas 8B, 9 and 12, along Tisbury Street,
(*Bylaw 5-2020-Jan 28, 2020*) should be located and designed to encourage pedestrian activity, public interaction, and promote the area's Urban Village character.

e. Open Spaces and Pedestrian Accessibility

- i. Commercial developments shall provide convenient and attractive pathways throughout the site that shall be connected via pedestrian linkages to open spaces provided elsewhere in the Urban Village.
- ii. Commercial and multi-family residential development sites shall provide pedestrian connection(s) to nearby neighbourhood level pathways and bus stops.
- iii. The layout of parking areas in development permit applications shall specifically address the interrelation of pedestrian, vehicular, and bicycle circulation patterns in order to provide continuous, direct pedestrian access with a minimum of driveway and drive aisles crossings in all commercial areas. Treatments including raised pedestrian crossings, special paving, lights and bollards shall identify significant points of vehicle and pedestrian interfaces.
- iv. Private non-roof hardscaping areas (e.g. courtyards, parking lots, parking structures, driveways) should be shaded using canopied walkways or pergolas, high reflectivity and/or open grid paving materials, and shading from tree canopies (within 10 years of tree installation).

5.2. Recycling and Waste Reduction

- 5.2.1. Commercial and Multi-Family Residential developments should provide an easily accessible area dedicated to the separation, collection and storage of materials for recycling (at a minimum) paper, corrugated cardboard, glass, plastic and metals.
- 5.2.2. Waste management facilities for multifamily land uses shall be provided in accordance with the Strathcona County Waste Management Bylaw.

5.3. Lighting

- 5.3.1. On-site lighting should maintain safe light level criteria, recognize the winter season by way of functional and decorative lighting solutions, and avoid off-site light and night sky pollution. Technologies to reduce light pollution include full cut-off luminaries, low-reflectance surfaces and low-angle spotlights.
- 5.3.2. The maximum height of security and parking lot lighting shall be 9.0 m.

5.4. Signs

- 5.4.1. A Master Sign Plan shall be developed for each phase within the community in accordance with Section 10.9 of the Land Use Bylaw. The sign design plan will include signs for residential and commercial developments.
- 5.4.2. Portable Signs shall be prohibited within this District.
- 5.4.3. Free-standing signs shall be limited to commercial sites adjacent to Wye Road. A visual impact study of any proposed free-standing signs shall be submitted with the master sign plan addressing sign area, illumination and height to confirm that the signs have minimal impact on adjacent residential areas.

5.5. Amenity Area

- 5.5.1. Planned Townhouse and Apartment uses shall provide Amenity Area of a minimum 3.5 m² per unit for the use and enjoyment of all occupants;
- 5.5.2. Amenity Area may include any outdoor area accessible to all occupants and may include a park, garden, deck, and patio; and,
- 5.5.3. Amenity Area may not be located in a Front Yard.

5.6. Landscaping

- 5.6.1. Landscape plans shall include details of pavement materials, fencing, exterior lighting, street furniture, garbage and storage areas, and sizes and species of new plantings for the site. Development Officer evaluation shall have regard for the degree to which the design is consistent within the development and complementary to existing adjacent retail/commercial development.
- 5.6.2. Landscaping shall have regard to the street, buildings, and adjacent developments.
- 5.6.3. Site grading shall take into consideration existing mature tree stands, significant vegetation and preserve them wherever possible.
- 5.6.4. All required planting material shall be hardy to the Sherwood Park Region and on-site location where they are planted, and establish a diversity of year-round colour, scent, and movement.
- 5.6.5. On-site landscaping should reduce the need for irrigation by the use of climate tolerant native plants, where necessary utilise efficient irrigation systems (low-volume, drip, or computer controlled), and use of rainwater capture and re-use systems (rain barrels, cisterns).
- 5.6.6. The proportion of deciduous to coniferous trees and shrubs shall be approximately 60:40.
- 5.6.7. A minimum of one tree shall be provided per parking area island that conforms to the minimum installation size standards.

5.7. Parking and Loading

- 5.7.1. Where calculation of the total number of parking spaces yields a fractional number, the required number of spaces shall be the next highest whole number.
- 5.7.2. Where more than one parking requirement applies to the same land use, the greater requirement shall be provided.
- 5.7.3. Where the Strathcona County Land Use Bylaw does not clearly define parking requirements for a particular development, the single use or combination of uses most representative of the proposed development shall be used by the Development Officer to determine the parking requirement.
- 5.7.4. Visitor parking shall be provided on site and shall be located in close proximity to a building entrance for safety and convenience.
- 5.7.5. Residential buildings within Areas 4, 6, 8A, 8B, and 11, shall provide resident parking internal to the residential building either in ground-level parking garages or underground parking.
- 5.7.6. Underground parking structures may encroach into and under required setbacks as long as they are not above grade and have landscape cover.
- 5.7.7. Site entrances, exits, and on-site routing of vehicles shall be located on Development Permit plans and be designed in a manner that demonstrates safe and convenient pedestrian patterns and connections to adjoining sites.
- 5.7.8. Parking areas shall be located to side or rear of buildings where possible.
- 5.7.9. On-site parking, aisles, drive-thru lanes, and similar vehicle circulation areas for commercial uses may project into a required yard to within 1.2 m of a property line.
- 5.7.10. Where parking structures are adjacent to a side or rear property line, or are located between or beside residential buildings, parking structures can be located above-grade to a maximum of 2 storeys.
- 5.7.11. The façade of a parking structure shall be complimentary to adjacent building frontages and well-integrated with the landscape design through the placement of trees and/or berms with shrub beds to reduce the scale of the building.
- 5.7.12. Where possible, parking should be shared by users with staggered peak hour demand. When reviewing Development Permit applications for uses that may operate at different times of the day or week, the Development Officer shall consider shared parking amongst uses that have staggered peak hours of parking demand.
- 5.7.13. Parking spaces for non-residential uses shall be provided on site. On-street patron parking may be considered when a development permit application is accompanied by a plan showing the number of available on street stalls located on the same side of the street, and in close proximity to the development taking into consideration on street visitor parking that may be approved for adjacent uses. On street patron parking shall not represent more than 10% of the required patron parking for the proposed development.
- 5.7.14. Reduced parking to 1.5 spaces/residential unit, or up to 90% of a uses required parking spaces/commercial building area may be considered by the Development Officer where justification is provided and it would reduce the required parking lot area.

5.8. Accessory Uses:

- 5.8.1. For the purpose of this district accessory use means a use that is ancillary, incidental or subordinate and located in the same principal building of the primary use that it is associated with.

6.0 Specific Development Area Regulations

6.1. Development Phases and Areas

6.1.1. Development Phasing - The Salisbury Village ASP defines this urban village in three Phases, and this District regulates development in Phase 1 and Phase 2.

- a. Phase 1 – Wye Road Crossing (West) - The purpose of this phase is to provide a range of arterial commercial uses that service the Salisbury Village community and Sherwood Park. The development area includes the opportunity for medium density residential development and an enhanced stormwater management facility in the southwest corner to provide a transition from the rural residential development to the south and the commercial uses to the north.
- b. Phase 2 – Salisbury Village (Central) - The purpose of this phase is to sensitively integrate an existing natural wetland area into an urban mix of commercial, and low to high density residential land uses. A central park complements the residential uses and the village commercial areas west of Mitchell Street.

6.1.2. Development Areas - This District's two Phases are divided into eleven (11) distinct "Areas" in order to manage development. The boundaries of these Areas are shown on Attachment "A", and described below.

- a. Phase 1 – Wye Road Crossing (West)

Area 1	Medium Density Residential
Area 2	Arterial Commercial
Area 3	Pedestrian Corridor, Public Open Space and Public Utilities
- b. Phase 2 – Salisbury Village (Central)

Area 4	Medium Density Residential
Area 5	Low Density Residential
Area 6	Medium Density Residential - Townhouse
Area 7	Medium Density Residential - Semi-Detached/Townhouse
Area 8A/8B	High Density Residential
Area 9	Village Commercial
Area 10	Village Commercial/Employment
Area 11	Village Swing Site
Area 12	Mixed-Use Commercial/Residential (<i>Bylaw 5-2020-Jan 28, 2020</i>)

6.2. Area 1 – Medium Density Residential

6.2.1. Purpose

The primary purpose of this development area is to accommodate medium density housing that is sensitive to the adjacent rural residential development.

6.2.2. Uses

Apartment housing
Congregate housing
Fourplex housing
Home business, minor*
Office
Personal service establishment
Semi-detached housing
Town housing

6.2.3. Discretionary Uses

Food service, specialty
Residential sales centre*
Senior citizen housing
Utility Service, minor

6.2.4. Fundamental Use Criteria

- a. The maximum floor area ratio is 1.0.
- b. The maximum site coverage is 40%.

6.2.5. Development Regulations

- a. Setbacks
 - i. The minimum building setbacks are illustrated on Area 1 Site Plan.
 - ii. The minimum building setback is 3.0 m for the site except for the west boundary along Ash Street which has a setback of 6.0 m.
 - iii. Notwithstanding Section 6.11 of the Land Use Bylaw, accessory buildings shall comply with the above-mentioned setback requirements.
- b. Building Heights
 - i. The maximum height for all principal buildings shall be 10 m, except for apartment housing which shall be 14 m.
- c. Landscaping & Fencing
 - i. Landscaping Plans for Area 1 shall include the abutting Area 3. See the landscaping provisions for Area 3 and Section 6.5 Landscaping.
 - ii. A 1.2 m chain link fence shall be constructed within the south and east boundary of Area 1 at the same time that the first development in Area 1 is proposed.
- d. Commercial Uses
 - i. Commercial uses shall only be permitted within ground floor units that front onto and have direct access to Green Street.

6.3. Area 2 – Arterial Commercial

6.3.1. The primary purpose of this area is to provide for a range of commercial uses appropriate to the site's prominent location along the major arterial of Wye Road, with due regard for the country residential uses abutting the site to the south.

6.3.2. Uses

Business support service
 Care centre, intermediate
 Financial service
 Food service drive-in
 Food service, restaurant
 Food service, specialty
 Gas bar * and **
 Health service, minor**
 Library and exhibit
 Office
 Personal service establishment**
 Recreation, indoor**
 Retail, alcohol*
 Retail, cannabis*
(Bylaw 16-2018 – April 24, 2018)
 Retail, general
 Retail, convenience
 Service station, minor * and **
 Veterinary service, minor**
 Warehouse sales**

6.3.3. Discretionary Uses

Convenience vehicle rental**
 Drive-through vehicle service * and **
 Utility service, minor
 Vehicle sale/rental

6.3.4. Accessory to Principal Uses

Animal grooming facility
 Equipment, minor
 Greenhouse and plant nursery
 Household repair service
 Vehicle repair, minor
 Warehousing and storage

6.3.5. Fundamental Use Criteria

- a. The maximum floor area ratio is 1.0.
- b. The maximum site coverage is 40%.

6.3.6. Specific Use Regulations

The following regulations apply to uses identified by a double asterisk:

a. Animal Grooming Facility	For the purposes of this district, this use is limited to small domestic animals (livestock is prohibited)
b. Convenience Vehicle Rental	Vehicle washing facilities prohibited as a primary or accessory use.
c. Drive-through Vehicle Service	Vehicle washing facilities prohibited as a primary or accessory use.
d. Gas Bar	Vehicle washing facilities prohibited as a primary or accessory use.
e. Greenhouse and plant nursery	Primary access must be provided from within the interior of the principle building.

	Seasonal outdoor displays shall be setback from the building/enclosure frontage at the discretion of a Development Officer to ensure safe pedestrian and vehicular circulation.
f. Health Service, minor	Shall be permitted provided this use is not contained in a standalone building.
g. Personal Service Establishment	For the purpose of this district, on-site dry cleaning facilities are prohibited; a dry cleaner's drop-off outlet shall be permitted.
h. Recreation, Indoor	For the purposes of this district, uses shall be related to fitness and health centres; rifle and pistol ranges are prohibited.
i. Service Station, minor	Vehicle washing facilities prohibited as a primary or accessory use.
j. Vehicle sale/rental	Vehicle washing facilities prohibited as a primary or accessory use.
k. Veterinary Service, minor	For the purposes of this district, this use is limited to the treatment of small domestic household pets only (i.e. no horses or livestock). Overnight boarding of animals is prohibited.
l. Warehousing and Storage	Primary access must be provided from within the interior of the principle building.
	Outdoor storage shall be contained within an attractive, screened structure located next to the principle building.
	Outdoor storage materials shall be stacked to a height not exceeding the adjacent wall so as to ensure containment of goods.

6.3.7. Conditions of Land Use

- a. Seasonal outdoor displays may be permitted provided they are setback and contained, at the discretion of a Development Officer, to ensure safe pedestrian and vehicular circulation.

6.3.8. Development Regulations

- a. Setbacks
 - i. The minimum building setbacks are illustrated on Area 2 Site Plan.
 - ii. Notwithstanding Section 6.7 of the Land Use Bylaw, the minimum building setback from the edge of the petroleum product easement or right-of-way adjacent to Wye Road shall be 7.5 m.
 - iii. The minimum building setback adjacent to the west and east boundaries shall be 4.0 m.
 - iv. The minimum building setback adjacent to the south boundaries shall be 4.0 m, except as provided below.
 - v. The minimum building setback, for buildings over 6.0 m in height, is 10 m adjacent to the south boundary, where it abuts Area 3.
 - vi. The minimum building setback, for buildings 6.0 m and less in height, is 0.0 m where it abuts Area 3.

- vii. The minimum building setback adjacent to Area 1 is 7.5 m.
- viii. Where a building abuts an internal drive aisle, a minimum setback of 1.5 m shall be required to ensure pedestrian safety and vehicular sightlines.
- b. Building Heights
 - i. The maximum height for all principal buildings shall be 14 m.
 - ii. The maximum height for accessory buildings shall be 6.0 m.
- c. Lighting
 - i. On-site security and parking lot lighting shall be located and arranged so that no direct rays of light are directed at any adjoining residential properties. Security lighting fixtures must be shrouded to prevent light spilling into adjacent residential yards.
 - ii. The maximum height of security and parking lot lighting shall be 9.0 m.
- d. Parking
 - i. No parking shall be permitted within the minimum building setbacks from the east and west boundaries.
 - ii. Access points to parking lots shall be well spaced and clearly defined.
 - iii. Loading and receiving facilities shall be located away from the major street side of the buildings. Where this is not practical, due to a building surrounded by streets, loading and receiving facilities shall be screened from the street with landscaping features and/or architectural treatment.
- e. Landscaping
 - i. Landscaping shall be provided in conjunction with, and shall be part of, any development proposed in any application for a Development Permit.
 - ii. Landscaping Plans for Area 2 shall include the abutting Area 3.
 - iii. See the landscaping provisions for Area 3 and Section 5.6 Landscaping.
- f. Green Street
 - i. Green Street is an east-west connection between Ridgeway Street and Ash Street and is planned to be provided via an internal link (private road with a public access easement) through Area 2.
 - ii. Green Street shall be developed with the first proposed principal use within Area 1 or 2.
 - iii. A public access easement shall be registered for the private road, naming the County as a third party, to the satisfaction of the Development Officer.
 - iv. The private road shall be constructed such that it appears and functions as an obvious pedestrian, bicycle, and vehicle connection between Ridgeway Street and Ash Street while incorporating pedestrian, safety and landscape features consistent with the concept of a sustainable community. These features may include:
 - Landscaping on either side of the road;
 - Safe channeling of pedestrian traffic across the street;
 - Elevated tables and traffic calming measures at pedestrian crossings;
 - Incorporating low impact development design strategies; and
 - Utilizing innovative stormwater management design
- g. Area 2A - The following regulations shall apply to Area 2A (that portion of Area 2 located south of Green Street) as shown on Area 2 Site Plan
 - i. Hours of Operation: Retail operating hours shall be as follows:
Mon – Fri 7am – 11pm

Sat 8am – 8pm
Sun 9am – 8pm

- ii. The use of any outdoor address or other sound systems shall be prohibited.
- iii. All attempts will be made to mitigate the off-site noise impacts of outdoor machinery (i.e. back-up beepers on forklifts) provided such measures fall within the bounds of safety code requirements.
- iv. Deliveries shall be prohibited between 6pm and 7am.
- v. Delivery trucks shall be prohibited from idling at night (between 7pm and 7am).
- vi. A concrete retaining wall with a concrete fence on top to form a 4.2 m wall along with a landscaped berm shall be constructed inside the south boundary of Area 2A for the purposes of providing sound attenuation. This concrete fence/wall will be located adjacent to the drive aisle as shown on Area 2 Site Plan. The concrete fence/wall shall be stepped down as it approaches Ridgeway Street and shall consist of two steps: the first from 4.2 m to 3.0 m in height; the second from 3.0 m to 1.8 m in height with each step measuring 3.6 m in length for a total of 2.7 m.
- vii. A double board fence in combination with a retaining wall to form a 2.4m wall shall be constructed within the south boundary of Area 2A from the west edge of the concrete fence in vi (above) to the east edge of the proposed storage sheds, as shown on Area 2 Site Plan.
- viii. A single board fence in combination with a retaining wall to form a 2.4m wall shall be constructed adjacent to the south and west boundary of Area 2A at the rear of the storage sheds, as shown on Area 2 Site Plan.

6.4. Area 3 – Pedestrian Corridor, Public Open Space and Public Utilities**6.4.1. Purpose**

The purpose of this development area is to provide space for utility operations, parks, and pedestrian linkages. A 7.5m pedestrian corridor, with trail, serves as a buffer between the existing rural residences and the commercial development in Phase 1. Park spaces in the form of municipal reserves allow residents, workers and visitors to the area opportunities to enjoy active and passive recreation and the natural wetland. The area provides for two storm water management facilities in the form of enhanced storm ponds complete with trails and rest areas.

6.4.2. Uses

Flea Market for the purposes of a Farmer's Market
Park
Recreation, Community
Recreation, Indoor
Recreation, Outdoor
Recycling Drop-Off
Utility Service, Minor

6.4.3. Fundamental Use Criteria

- a. The pedestrian corridor shall be a minimum of 7.5 m in width as shown on Attachment "B" Area 3 (Phase 1) Site Plan.
- b. The public open spaces will provide unstructured space for recreation or culture, open turf fields with planted buffers to the adjoining residential uses, trails, seating and viewing platform, natural and manicured landscaping, and a natural water feature.
- c. The public utilities will be in the form of two storm water management ponds with enhanced landscaping, trails and viewing areas that add to the openness of the development and provide additional passive recreation space.

6.4.4. Development Regulations

- a. Pedestrian Corridor
 - i. The development of the pedestrian corridor, in Phase 1 shall be completed at the same time as the first development is proposed in the phase and it shall include a 3.0 m wide asphalt pathway as shown on Attachment "B" Area 3 (Phase 1) Site Plan.
- b. Public Open Space
 - i. The development of the public open space areas in Phase 2 including the parks and wetland shall be completed with the Phase 2 subdivision.
 - ii. A 1.5 m wide granular trail shall be developed within the municipal reserve area on the south side of the central wetland in Phase 2 as shown on Attachment "B" Area 3 (Phase 2) Site Plan.
 - iii. A 3.0 m wide asphalt trail shall be developed in the municipal reserve south of the storm water management facility in Phase 2 as shown on Attachment "B" Area 3 (Phase 2) Site Plan.
 - iv. A trail through the public utility lot separating Areas 6 & 11 in Phase 2 as shown on Attachment "B" Area 3 (Phase 2) Site Plan shall be completed

- when the central park area develops. The alignment and surface details of this trail will be determined at time of development.
- v. The developer shall provide a separate plan for the central park in Phase 2 prior to development. Plans shall include an open space for gathering and outdoor special events and programs.
 - vi. An additional allocation of municipal reserve at 3% of developable area, per the Municipal Government Act, is to be provided by upgraded amenities and park enhancements within Phase 2 in lieu of land. These enhancements shall have a value equal to or exceeding the appraised market value of the additional 3% of developable lands of Phase 2 and may include: additional park/playground upgrades, additional landscaping upgrades, a plaza/gazebo and/or viewing platform development, wayfinding signage, and lighting within the Phase 2 open space areas.
- c. Storm Water Management Facilities
- i. The development of the storm water management facility in Phase 1 shall be completed at the same time as the first development is proposed in either Area 1 or Area 2.
 - ii. A 1.5 m wide gravel trail shall be constructed around the storm water management facility in Phase 1 as shown on Attachment "B" Area 3 (Phase 1) Site Plan.
 - iii. A seating area shall be developed on the north side of the storm water management facility in Phase 1.
 - iv. The development of the storm water management facility in Phase 2 and access to it shall be completed as per the Development Agreement.
 - v. The maintenance access to the storm water management facility in Phase 2 as shown on Attachment "B" Area 3 (Phase 2) Site Plan shall include a grass paving structure of sufficient strength and width to support heavy maintenance vehicles.
 - vi. A 3.0 m wide asphalt trail shall be developed within the east edge of the storm water management facility in Phase 2 as shown on Attachment "B" Area 3 (Phase 2) Site Plan.
 - vii. Additional tree plantings shall be grouped adjacent to the storm water management facility in Phase 2 to provide screening of existing residential uses.
- d. Fencing & Landscaping
- i. Notwithstanding Section 7.0 of the Land Use Bylaw, the following shall apply to Area 3 as shown on Attachment "B" Area 3 (Phase 1) Site Plan and Area 3 (Phase 2) Site Plan.
 - ii. A 2.4 m double board wood fence shall be constructed along the south boundary of Area 3 where it abuts Lot 21, Plan 4382 MC (see Attachment "B" Area 3 (Phase 1) Site Plan).
 - iii. A chain link fence shall be erected along the south boundary of Area 3 where it abuts Lot 3, Plan 6428 KS. The chain link fence shall match the existing fence on Lot 3, Plan 6428 KS (see Attachment "B" Area 3 (Phase 1) Site Plan).
 - iv. Trees and shrubs shall be planted on either side of the trail at a rate of a minimum of 1 tree and 1 shrub per 5.0 m of linear trail. Trees may be grouped to provide screening of adjacent land uses.

- v. All trees and shrub planting shall conform to the following:
 - The proportion of the deciduous to coniferous trees shall be approximately 60:40
 - Deciduous trees shall be at least 60 mm calliper.
 - Coniferous trees shall have a minimum height of 2.5 m
 - Deciduous shrubs shall have a minimum spread of 450 mm
 - Coniferous shrubs shall have a minimum height of 450 mm.

6.5. Area 4 –Medium Density Residential

6.5.1. Purpose

The purpose of this development area is to allow for a combination of residential housing options that provide a transition in density and height from the adjacent country residential dwellings to the south. The units are intentionally oriented to the street to create an urban feel in the neighbourhood.

6.5.2. Uses

Apartment Housing
Duplex Housing
Fourplex Housing
Home Business, Minor*
Residential Sales Centre*
Semi-Detached Housing
Senior Citizen Housing
Town housing
Utility Service, Minor

6.5.3. Development Regulations

a. Setbacks

- i. The building setbacks are illustrated on Attachment "B" - Area 4 Site Plan.
- ii. The minimum building setback is 1.2 m and the maximum building setback is 6.0 m along Salisbury Way, Salisbury Lane and Ridgeway Street. The 1.2 m minimum setback creates a buffer zone to accommodate design elements (either landscape or architectural) that help transition the interface and provide a physical delineation between public and private space. Elements that may be included, but are not limited to are shrubs, planters, benches, building monument signage, all with a maximum height restriction of 0.9 m.
- iii. For buildings adjacent to the south boundary of Area 4 where it abuts Lot 16, Plan 6428KS, the minimum building setback is 10.0 m.
- iv. For buildings adjacent to the west boundary of Area 4 where it abuts Valley Avenue, the minimum building setback is 3.0 m.
- v. The minimum building setback is 3.0 m along the property boundary shared with the stormwater management facility, except it is 12.5 m along this boundary as shaded on the Area 4 Site Plan for the purpose of enhancing the land use transition between Lot 1, Plan 6428KS. This shaded area shall only be utilized for amenity space, landscaping, and/or parking.

b. Density

- i. The maximum Density shall be 40 units per net residential hectare.

c. Site Coverage

- i. The maximum site coverage is 35%.

d. Building Heights

- i. A maximum building height of 10.0 m and a minimum building height of 4.0 m for principal buildings located in the south portion of the site as shown on Area 4 Site Plan.

- ii. A maximum building height of 17.0 m and a minimum building height of 4.0 m for principal buildings located in the north portion of the site as shown on Area 4 Site Plan
- e. Landscaping and Fencing
 - i. Site grading shall consider the preservation, where possible, of the mature tree stands on this site and in particular those trees that are located adjacent to the south boundary of Area 4 abutting Lot 16, Plan 6428 KS.
 - ii. A 2.15 m single board wood fence shall be built within the west boundary of Area 4 where it abuts Valley Avenue (see Attachment D).
 - iii. A 1.2 m decorative metal fence shall be built within the south property line of Area 4 where it abuts the stormwater management facility (see Attachment D).
- f. Parking Requirements
 - i. Apartments shall provide resident parking internal to the building by use of underground parking.
- g. Accessory Buildings
 - i. Accessory structures shall conform to the architectural design and finish of the principal building.
- h. Urban Design
 - i. Medium Density Residential - Semi-Detached/Town Housing units in Phase 2, Area 4 shall be located to the minimum front yard setback abutting Salisbury Way to the greatest extent possible, and these units shall be accessed by a rear garage or internal parking area.
 - ii. Contemporary architectural design is required in Phase 2, Area 4.

6.6. Area 5 – Low Density Residential

6.6.1. Purpose

The purpose of this district is to provide for single detached dwellings or semi-detached dwellings on individual lots. The district also provides for a limited range of complementary uses that are compatible with residential uses in an urban setting.

6.6.2. Uses

Dwelling, family care*
Dwelling, single
Semi-detached housing
Group home, minor
Home business, minor*
Home business, major*
Residential sales centre*

6.6.3. Subdivision Regulations

- a. Dwelling, Single minimum lot width is 10.6 m, except it is 13.0 m for a corner lot.
- b. Dwelling, Semi-Detached minimum lot width is 7.6 m for each internal dwelling and 11.6 m for each corner dwelling.
- c. Lot width is measured at 9.0 m from the front property line.
- d. The minimum lot depth is 32.0 m
- e. Within this area, a minimum of 25% of the Dwelling, Single lots must be in a range of 12.2 m to 13.6 m lot widths.

6.6.4. Development Regulations

- a. Setbacks
 - i. The building setbacks are illustrated on Attachment "B" - Area 5 Site Plan.
 - ii. The minimum front yard is 5.5 m.
 - iii. The minimum side yard is 1.2 m, except it is 3.0 m from a flanking public road other than a lane. Where there is not direct vehicular access to the rear yard or to an attached garage, one side yard shall be at least 3.0 m.
 - iv. Where a common wall of semi-detached housing is located on a mutual side lot line, the side yard is 0.0 m.
 - v. If the doors of a garage face a road, they shall be setback at least 6.0 m from the lot line.
 - vi. The minimum rear yard is 7.5 m.
- b. Building Height
 - i. The maximum building height is 10.0 m.
- c. Site Coverage
 - i. The maximum site coverage is 42.5%.
- d. Density
 - i. The maximum density is 25 units per net residential hectare.

- e. Accessory Structures
 - i. Accessory structures shall conform to the architectural design and finish of the principal building.
- f. Other Regulations
 - i. There shall be a minimum of 1.83 m frontage of the first storey of a dwelling, other than a garage, exposed to the street.
 - ii. A driveway for a front attached garage should not be more than the width of the garage's façade.
 - iii. Architectural quality shall be increased by creating greater variation in design between individual units, and by consistently applying the chosen architectural theme to the units.
 - iv. The impacts of a single dwelling front attached garage on the pedestrian streetscape shall be minimized by utilizing one of the following design solutions:
 - A. A front attached garage shall not project more than 1.0 m from the front façade of the dwelling;
 - B. A habitable second storey shall cover the entirety of the width and a minimum of 75% of the total length of the portion of the front attached garage that extends beyond the front façade of the dwelling;
 - C. Despite Section 6.6.4.f.i, there shall be a minimum of 2.44 m frontage of the first storey of a dwelling, other than a garage, exposed to the street. The entirety of the frontage shall include a covered front veranda; or
 - D. An alternate solution to the satisfaction of the Development Officer.
(Bylaw 37-2016 – Sept 13, 2016)
 - v. Contemporary architectural design is required in Phase 2.

6.7. Area 6 – Medium Density Residential - Townhouse

6.7.1. Purpose

The purpose of Area 6 is medium density residential uses in the form of planned semi-detached and townhousing sites and apartment housing. All semi-detached housing, townhousing or apartment units abutting a public roadway shall be street-oriented to reinforce the area's 'urban village' character. Units may also be oriented to face the Area 3 public open space. *(Bylaw 19-2016 – Jun 21, 2016)*

6.7.2. Uses

Apartment housing
Home Business, Minor*
Town housing
Residential sales centre*
Semi-detached housing
(Bylaw 19-2016 – Jun 21, 2016)

6.7.3. Development Regulations

a. Setbacks

- i. The building setbacks are illustrated on Attachment "B" - Area 6 Site Plan.
- ii. The minimum building setback is 4.5 m along Salisbury Way.
- iii. The minimum side yard setback is 3.0 m.
- iv. The minimum rear yard setback is 3.0 m.

b. Building Heights

- i. The maximum heights for principal buildings shall be 12.0 m.

c. Site Coverage

- i. The maximum site coverage is 50%.

d. Density

- i. The minimum density is 35 units per hectare. *(Bylaw 19-2016 – Jun 21, 2016)*
- ii. The maximum density is 60 units per hectare.

e. Parking

- i. Apartments shall provide resident parking internal to the building by use of underground parking.

f. Accessory Buildings

- ii. Accessory structures shall conform to the architectural design and finish of the principal building.

g. Urban and Site Design

- i. Semi-detached housing, Town House or Apartment housing shall be sited to the greatest extent possible fronting Salisbury Way to reinforce street-oriented character of the area; *(Bylaw 19-2016 – Jun 21, 2016)*
- ii. Semi-detached housing, Town House units shall have a front door entrance located on the building's façade for units located along Salisbury Way;
(Bylaw 19-2016 – Jun 21, 2016)

- iii. Semi-detached housing, Town House units or Apartment housing with a building façade oriented toward the Municipal Reserve area shall provide: visually interesting architectural enhancements; appropriate glazing to support opportunity for providing “eyes on the park”; and, allow for walkout access from Town Housing units to the trails system; and, *(Bylaw 19-2016 – Jun 21, 2016)*
- iv. Contemporary architectural design is required in Phase 2.

6.8. Area 7 – Medium Density Residential – Semi-Detached/Townhouse**6.8.1. Purpose**

The purpose of Area 7 is for medium density residential land use that may be in the form of fee-simple street-oriented townhousing and/or semi-detached housing all with lane access. Townhousing shall be located along Salisbury Way to reinforce the area's 'urban village' character, and semi-detached housing may be utilised to provide a desirable transition between townhousing and single-detached housing.

6.8.2. Uses

Home business, minor*
Home business, major*
Residential sales centre*
Semi-detached housing
Town housing

6.8.3. Subdivision Regulations

- a. The minimum lot width for a town housing parcel with a lane is 6.0 m for an internal lot, and 9.1 m for a corner lot.
- b. The minimum lot width for a semi-detached parcel with a lane is 7.6 m, except it shall be 9.1 m for a corner lot.
- c. The minimum lot depth is 34 m.

6.8.4. Development Regulations

- a. Setbacks
 - i. The building setbacks are illustrated on Attachment "B" - Area 7 Site Plan.
 - ii. The minimum front yard is 4.5 m.
 - iii. The minimum side yard for a corner lot is 3.0 m, and for an internal lot the minimum side yard is 1.2 m.
 - iv. The minimum rear yard is 7.5 m.
 - v. Where overhead doors of a garage face a lane and they shall be a minimum 1.0 m from the rear lot line; or, where an overhead garage door faces a public roadway other than a lane they shall be a minimum 6.0 m from the front lot line.
- b. Building Height
 - i. The maximum building height is 10.0 m.
- c. Site Coverage
 - i. The maximum site coverage is 55%.
- d. Density
 - i. The minimum density is 30 units/ha.
 - ii. The maximum density is 40 units/ha.
- e. Accessory Structures
 - i. Accessory structures shall conform to the architectural design and finish of the principal building.

- f. Other Regulations
 - i. Vehicle access shall only be from a rear lane for a dwelling along Salisbury Way.
 - ii. Contemporary architectural design is required in Phase 2.

6.9. Area 8A/8B – High Density Residential

6.9.1. Purpose

This area comprises two low rise apartment sites located in close proximity to the primary commercial site and the central open space. These higher density residential nodes provide a strong urban character in the centre of the overall area, and may support limited mixed use development. Residents here will support the urban village commercial in terms of both potential employees and a local consumer market.

6.9.2. Uses

Apartment Housing
Home Business, Minor*
Laundromat
Personal Service Establishment
Retail, Convenience
Residential Sales Centre*

6.9.3. Development Regulations

a. Setbacks

- i. The building setbacks are illustrated on Attachment "B" - Area 8A and 8B Site Plan.
- ii. The minimum building setback shall be 4.5 m along Salisbury Way in Area 8A and along the Main Street in Area 8B, with a maximum building setback of 7.6 m for buildings along these streets.
- iii. The minimum building setback in Area 8A abutting low & medium density residential uses and in Area 8B along Wye Road is 7.5 m.
- iv. The minimum building setback is 3.0 m on all remaining borders in Area 8A and 8B not regulated above.

b. Building Heights

- i. The maximum height for principal buildings shall be 16 m.
- ii. The minimum building height is 7.5m.
- iii. Area 8A buildings shall not exceed 7.5 m in height within 15.0 m of a property line that abuts a low density residential use in Phase 2.

c. Site Coverage

- i. The maximum site coverage is 50%.

d. Density

- i. The maximum density is 125 units per hectare

e. Landscaping & Fencing

- i. Landscaping Plans for Area 8B shall include the abutting Area 3.
- ii. Fencing within the south boundary of Area 8B shall be a metal fence located within the property boundary (see Attachment D).

- f. Parking Requirements
 - i. Residential buildings within Areas 8A and 8B shall provide resident parking internal to the residential building either in ground-level parking garages or underground parking.
- g. Accessory Structures
 - i. Accessory structures shall conform to the architectural design and finish of the principal building.
- h. Mixed Use Within Buildings
 - i. Commercial or office or residential uses are permitted on any floor, but no floor may contain a mix of residential/commercial uses.
 - ii. No commercial/office use will be permitted above a residential floor.
 - iii. Residential uses within a mixed use building shall be separated from commercial/office uses by way of separate entrances and lobby areas.
- h. 'Main Street' Design
 - i. Developments shall encourage pedestrian activity, public interaction, and urban village character by siting buildings along the site perimeter abutting Main Street in a manner that will minimize setback to the road right-of-way.
 - ii. A minimum of 30% of the length of available street frontage along Salisbury Way or Main Street shall be encouraged to be fronted by buildings.
- i. Other Regulations
 - i. Projections from buildings such as awnings, sign, porticos, eaves, unenclosed balconies, shade protection, and similar architectural features shall not encroach over a property line.
 - ii. Contemporary architectural design is required in Phase 2.

6.10. Area 9 – Village Commercial**6.10.1. Purpose**

The purpose of this development area is to provide a range of commercial uses for meeting the needs of the local residential community. The creation of local employment opportunities close to residential development will promote the neighbourhood goal of an interactive and sustainable mixed-use community. Building orientation and parking areas will support pedestrian friendly “main street” design and provide a view corridor and pedestrian link into the village’s major park located west of the site.

6.10.2. Uses

Animal Grooming Facility	Neighbourhood Pub
Business Support Service	Office
Care Centre, Intermediate	Personal Service Establishment
Care Centre, Major	Recreation, Indoor
Custom Workshops	Retail, Alcohol*
Financial Service	Retail, Cannabis*
Food Service, Restaurant	<i>(Bylaw 16-2018 – April 24, 2018)</i>
Food Service, Specialty	Retail, Convenience
Gas Bar*	Retail, General
Government Service	Service Station, Minor
Health Service, Minor	<i>(Bylaw 6-2022 – March 1, 2022)</i>
Hotel	Veterinary Service, Minor
Household Repair Service	Warehouse Sale
Laundromat	
Library and Exhibit	

6.10.3. Accessory Uses

Equipment, Minor**
Convenience Vehicle Rental**

6.10.4. Specific Use Regulations

a. The following regulations apply to uses identified by a double asterisk:

i. Equipment, Minor	For the purposes of this district, there is no outside display of products.
ii Convenience Vehicle Rental	Surface parking spaces may be considered.
	Parking for an accessory use shall be in accordance with the parking regulations.”

6.10.5. Development Regulations

- a. Setbacks
 - i. The building setbacks are illustrated on Attachment "B" - Area 9 Site Plan.
 - ii. The minimum building setback is 3.0 m along Tisbury Street and adjacent to Area 12. (*Bylaw 5-2020-Jan 28, 2020*)
 - iii. The minimum building setback along Wye Road is 7.5 m, and along Mitchell Street the minimum building setback is 3.0 m.
 - iv. Projections from buildings such as awnings, signs, porticos, eaves, unenclosed balconies, shade protection, and similar architectural features shall not encroach over a property line.
- b. Building Heights
 - i. The maximum height for principal buildings is 14.0 m.
 - ii. The minimum building height is 7.5 m.
- c. Site Coverage
 - i. The maximum site coverage is 55%.
- d. Accessory Structures
 - i. Accessory structures in shall conform to the regulations for non-residential buildings, and shall not exceed 4.5m in height.
 - ii. Accessory structures shall conform to the architectural design and finish of the principal building.
- e. 'Tisbury Street' (*Bylaw 5-2020-Jan 28, 2020*) and Urban Design
 - i. Development abutting Tisbury Street shall encourage pedestrian activity, public interaction, and urban village character by use of a combination of the following design considerations:
 - 1. Building facades should achieve a minimum of 75% frontage along Tisbury Street.
 - 2. Buildings should be sited at the minimum front setback along Tisbury Street; however, parts of buildings may be setback slightly line for visual interest or to accommodate outdoor social activities (outdoor cafes, patios, displays, and street furniture).
 - 3. Buildings along Tisbury Street shall incorporate high standards in materials and architecture.
 - 4. Corner Buildings located along Tisbury Street should be treated as community focal points and be of higher design quality.
 - 5. Buildings shall front onto Tisbury Street, or be designed to appear to front onto Tisbury Street, to create an attractive public realm through the use of the following design elements:
 - a. Facades and rooflines on the sides of buildings facing Tisbury Street shall convey permeability to the street by use of architectural elements that may include entrances, glazing, changes in materials, building articulation and variations that will reduce perceived mass and linearity of larger buildings.
 - b. Buildings exteriors abutting Tisbury Street should form a continuous edge along the street with no single exterior treatment being longer than 12 metres. Longer façade lengths should be interrupted by variations in planes (recessing or extending of façade) or changes in materials.

- c. Building exteriors should be provided with openings that are proportionate and at regular intervals to create harmony, rhythm, and balance in overall design.
 - d. Large welcoming display windows and/or well defined entryways with openings (windows, glass facades, and entryways) should cover a minimum 30% of a building façade along Tisbury Street.
- 6. Restaurants located along Tisbury Street should establish patio areas or wrap around the building toward Tisbury Street.
- 7. Commercial advertising shall be sensitive to and supportive of the Tisbury Street character.
- ii. Commercial buildings along Salisbury Way and Mitchell Street shall be sited to the greatest extent possible along the Area 9 periphery to reinforce the street-oriented character of the urban village. *(Bylaw 6-2022 – March 1, 2022)*
- iii. Contemporary architectural design is required in Phase 2.
- f. Amenity Area *(Bylaw 6-2022 – March 1, 2022)*
 - i. Area 9 shall provide an Amenity Area of a minimum 650m² that is connected to pedestrian infrastructure network within Salisbury Village and provides outdoor seating/patio area.
- g. Screening *(Bylaw 6-2022 – March 1, 2022)*
 - i. The development of a vehicular-oriented use or a drive-thru associated with a listed use within Area 9 shall have a form of screening (fencing, architectural screening and/or landscaping) to reduce the visibility of the building from a public street and the screening be complimentary to the overall architectural theme of the Village Commercial.

6.11. Area 10 – Village Commercial/Employment**6.11.1. Purpose**

The purpose of this development area is to encourage and maintain the continuity of the Phase 1 commercial uses located along Wye Road. The combination of local employment opportunities in close proximity to residential development will promote the neighbourhood goal of an interactive and sustainable mixed-use community.

6.11.2. Uses

Animal Grooming Facility
 Business Support Service
 Care Centre, Intermediate
 Care Centre, Major
 Convenience Vehicle Rental
 Custom Workshops
 Financial Service
 Food Service, Restaurant
 Food Service, Specialty
 Gas Bar*
 Health Service, Minor

Office
 Personal Service Establishment
 Recreation, Indoor
 Retail, Alcohol*
 Retail, Cannabis*
(Bylaw 16-2018 – April 24, 2018)
 Retail, Convenience
 Retail, General
 Veterinary Service, Minor
 Warehouse Sales

Government Service
 Hotel
 Household Repair Service
 Laundromat
 Library and Exhibit
 Neighbourhood Pub

6.11.3 Accessory Uses
Equipment, Minor****6.11.4. Specific Use Regulations****a. The following regulations apply to uses identified by a double asterisk:**

i. Equipment, Minor	There shall be no outside display of products.
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6.11.5. Development Regulations**a. Setbacks**

- i. The building setbacks are illustrated on Attachment "B" - Area 10 Site Plan.
- ii. The minimum building setback is 4.0 m along Salisbury Way.
- iii. The minimum building setback is 7.5 m adjacent to Wye Road.
- iv. The minimum building setback is 3.0 m on the borders with Area 11, the Gate Station, and along the municipal reserve.

b. Building Heights

- i. The maximum height for a principal building in this area is 14.0 m, and the minimum height is 6.0 m.

c. Site Coverage

- i. The maximum site coverage is 55%.

- d. Accessory Structures
 - i. Accessory structures in shall conform to the regulations for non-residential buildings, and shall not exceed 4.5m in height.
 - ii. Accessory structures shall conform to the architectural design and finish of the principal building.
- e. Urban Design
 - i. Commercial buildings shall be sited to the greatest extent possible along Salisbury Way to reinforce the street-oriented character of the urban village;
 - ii. Contemporary architectural design is required in Phase 2

6.12. Area 11 – Village Swing Site

6.12.1. Purpose

The purpose of Area 11 is to provide a swing site for development of either medium density residential, or high density residential, or village commercial use to add flexibility in addressing future area demand. Land use in any of these three forms is compatible within the area's overall mixed use character. Whether the area develops as one of townhousing, low-rise apartments, or commercial use the part of the development that abut a public roadway shall be street-oriented to reinforce the 'urban village' character.

6.12.2. Uses – Residential

Apartment Housing
Home Business, Minor*
Town housing
Residential sales centre*

6.12.3. Uses – Commercial

Animal Grooming Facility	Household Repair Service
Business Support Services	Laundromat
Care Centre, Intermediate	Library and Exhibit
Care Centre, Major	Neighbourhood Pub
Convenience Vehicle Rental	Office
Custom Workshops	Personal Service Establishment
Education, Private	Private Club
Education, Public	Recreation, Indoor
Financial Service	Religious Assembly, Minor*
Flea Market	Retail, Alcohol*
Food Service, Restaurant	Retail, Cannabis*
Food Service, Specialty	<i>(Bylaw 16-2018 – April 24-2018)</i>
Gas Bar	Retail, Convenience
Government Service	Retail, General
Health Services, Minor	Retail, Second Hand
Hotel	Veterinary Service, Minor
	Warehouse Sales

6.12.4. Development Regulations

a. Setbacks

- i. The building setbacks are illustrated on Attachment "B" - Area 11 Site Plan.
- ii. The minimum building setback is 4.0 m along Salisbury Way.
- iii. The minimum building setback is 3.0 m on the borders with Area 10, the southerly public utility lot, and along the municipal reserve.

- b. Medium Density Residential Option
 - i. Refer to Section 5.6 – Area 6 - Medium Density Residential Town House, for all applicable development regulations, excepting setbacks, where this area is developed exclusively for Town Housing.
- c. High Density Residential Option
 - i. Refer to Section 5.8 – Area 8A/8B - High Density Residential, for all applicable development regulations, excepting setbacks, where this area is developed exclusively for Apartments.
- d. Commercial Option
 - i. Refer to Section 5.10 – Area 10 – Village Commercial/Employment, for all applicable development regulations, excepting setbacks, where this area is developed exclusively for commercial use.

6.13. Area 12 – Mixed-Use Commercial/Residential (Bylaw 5-2020-Jan 28, 2020)**6.13.1 Purpose**

The purpose of this development area is to provide opportunities for residential apartment development, commercial development or mixed-use development consisting of a combination of residential and commercial uses. Building orientation and parking areas will support pedestrian- friendly "main street" design and a pedestrian link will be provided from this development area into the park located west of the site.

6.13.2 Uses

Animal Grooming and Care	Laundromat
Business Support Services	Neighbourhood Pub
Care Centre, Intermediate	Office
Care Centre, Major	Personal Service Establishment
Care Centre, Minor	Retail, Alcohol
Congregate Housing	Retail, Convenience
Dwelling, Apartment	Retail, General
Financial Service	Retail, Second Hand
Food Service, Restaurant	Veterinary Service, Minor
Food Service, Specialty	
Government Service	
Health Service, Minor	
Home Business, Minor	
Home Office	
Household Repair Service	

6.13.3 Fundamental Use Criteria

- a. The commercial components within a mixed-use building shall be designed and located to minimize any impacts on the residential component of the development related to noise, traffic circulation or loss of privacy.

6.13.4 Development Regulations

- a. Setbacks
 - i. The building setbacks are illustrated on Attachment "B" - Area 12 Site Plan.
 - ii. The minimum building setback is 3.0 m along Mitchell Street, Salisbury Way, Tisbury Street and adjacent to Area 9.
 - iii. Buildings should be sited along Tisbury Street or Salisbury Way at the minimum front setback where possible to a maximum of 12 metres from the property line.
 - iv. Projections from buildings such as awnings, signs, porticos, eaves, unenclosed balconies, shade protection, and similar architectural features shall not encroach over a property line.
- b. Density
 - i. The maximum Density shall be 140 units per net residential hectare.

- c. Site Coverage
 - i. The maximum site coverage is 65%.
- d. Building Heights
 - i. The maximum building height shall be a maximum 24.0 metres.
- e. Parking Requirements
 - i. Resident and employee parking shall be provided through underground, stacked, or on-street parking or a combination thereof.
 - ii. An internal private street may be created within the site to provide additional on-street parking. The internal private street shall:
 - 1. Be limited to parallel and/or angle parking;
 - 2. Have marked pedestrian crossings that are located in a manner that provides continuous pedestrian connectivity of sidewalks and to primary building entrances;
 - 3. Include a minimum 1.2m wide sidewalk along both sides of the entire internal private street;
 - 4. Include a minimum 1.2 m wide landscaped area abutting the entirety of all sidewalks;
 - 5. Provide wheel stops for every parking space along the internal private street, where a minimum 1.2 m wide landscaped area is not located between the sidewalk and the internal private street, to prevent vehicular encroachment onto the sidewalks;
 - 6. Locate required benches, trash receptacles, bicycle parking, and lighting within the landscaped area; and
 - 7. Locate all signage outside the required 1.2 m sidewalk.
 - iii. The Development Officer may, at their discretion, vary the residential parking regulations if the developer demonstrates, to the satisfaction of the Development Officer, a reduced demand for parking through the introduction of a travel demand management program, which includes effective strategies, such as, a car share program and access to transit service within 30.0 m of this development, or a parking study prepared by a qualified professional.
 - iv. Parking should be setback from the street at the rear of buildings or interior of sites and be designed with landscaped areas.
 - v. Loading and storage areas shall be located at the rear or sides of the building(s) and shall be screened from view from any adjacent sites or public roadways.
- f. Accessory Buildings
 - i. Accessory structures shall conform to the architectural design and finish of the principal building, and shall not exceed 4.5m in height.
 - ii. Accessory structures shall have a setback of 3.0 metres from the property line or principal building.

g. Urban Design

- i. Development abutting Tisbury Street and/or Salisbury Way shall encourage pedestrian activity, public interaction, and urban village character by use of a combination of the following design considerations:
 1. Building facades should achieve a minimum of 75% frontage along Tisbury Street and Salisbury Way.
 2. Buildings along Tisbury Street or Salisbury Way shall conform to Section 5.1 of this Bylaw.
 3. Corner Buildings should be treated as community focal points and shall conform to Section 5.1 of this Bylaw.
 4. Buildings shall front onto Tisbury Street and/or Salisbury Way, or be designed to appear to front onto Tisbury Street and/or Salisbury Way, to create an attractive public realm through the use of the following design elements:
 - a. Facades and rooflines on the sides of buildings facing Tisbury Street shall convey permeability to the street by use of architectural elements that may include entrances, glazing, changes in materials, building articulation and variations that will reduce perceived mass and linearity of larger buildings.
 - b. Buildings exteriors should form a continuous edge along the street with no single exterior treatment being longer than 12 metres. Longer facade lengths should be interrupted by variations in planes (recessing or extending of facade) or changes in materials.
 - c. Building exteriors should be provided with openings that are proportionate and at regular intervals to create harmony, rhythm, and balance in overall design.
 - d. Large welcoming display windows and/or well defined entryways with openings (windows, glass facades, and entryways) should cover a minimum 30% of a building facade.
 5. Restaurants should establish patio areas or wrap around the building.
 6. Commercial advertising shall be sensitive to and supportive of Street character.
 7. On-site walkways shall provide connectivity to neighbourhood sidewalks, trails and site amenities from building entrances.

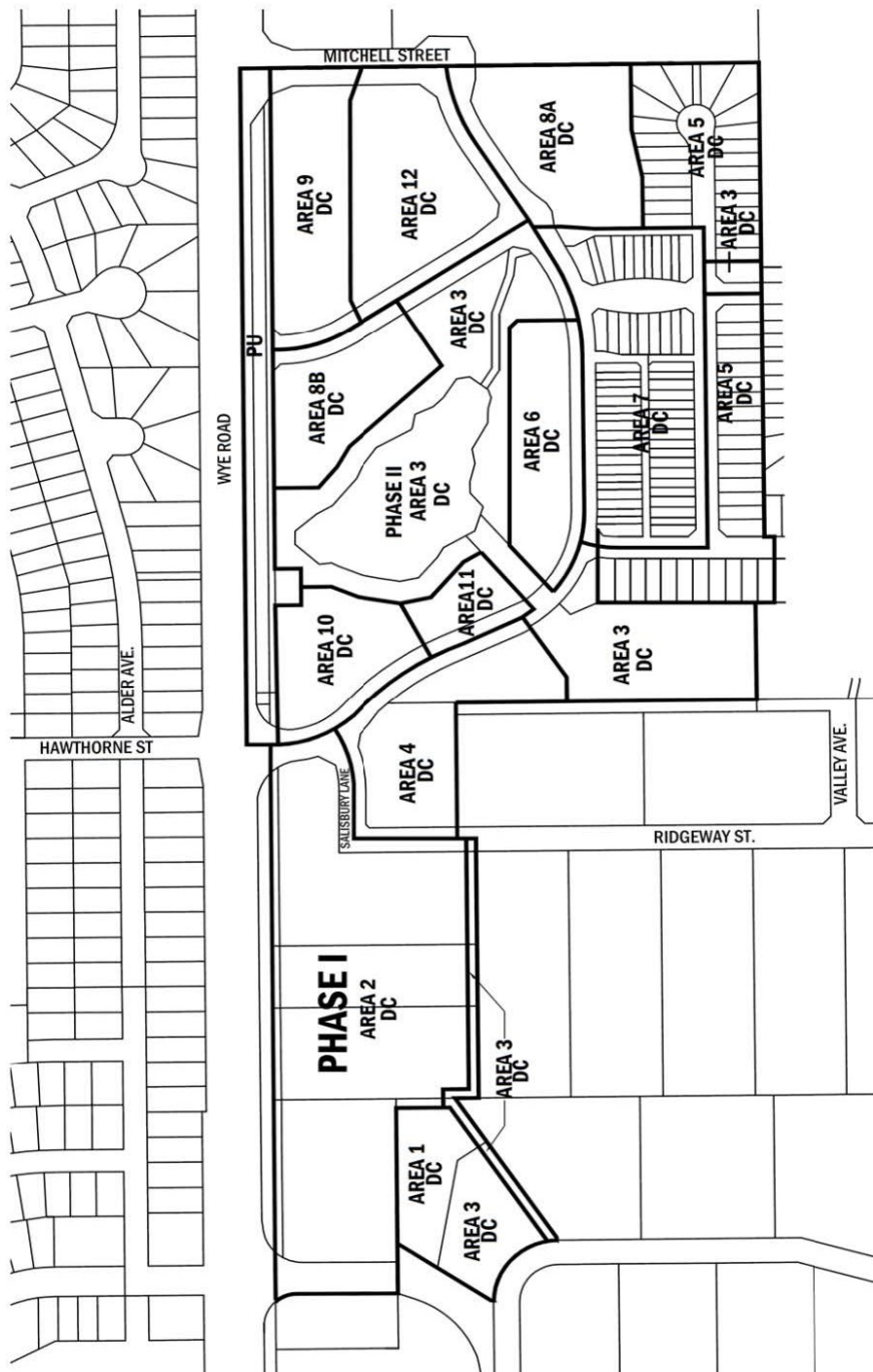
6.13.5 Definitions

For the purpose of Salisbury Village Zoning District Area 12, an INTERNAL PRIVATE STREET means a privately owned and operated vehicular transportation connection, which resembles a public street with pedestrian facilities on both sides and is located on a privately owned lot.

7.0 Other Regulations

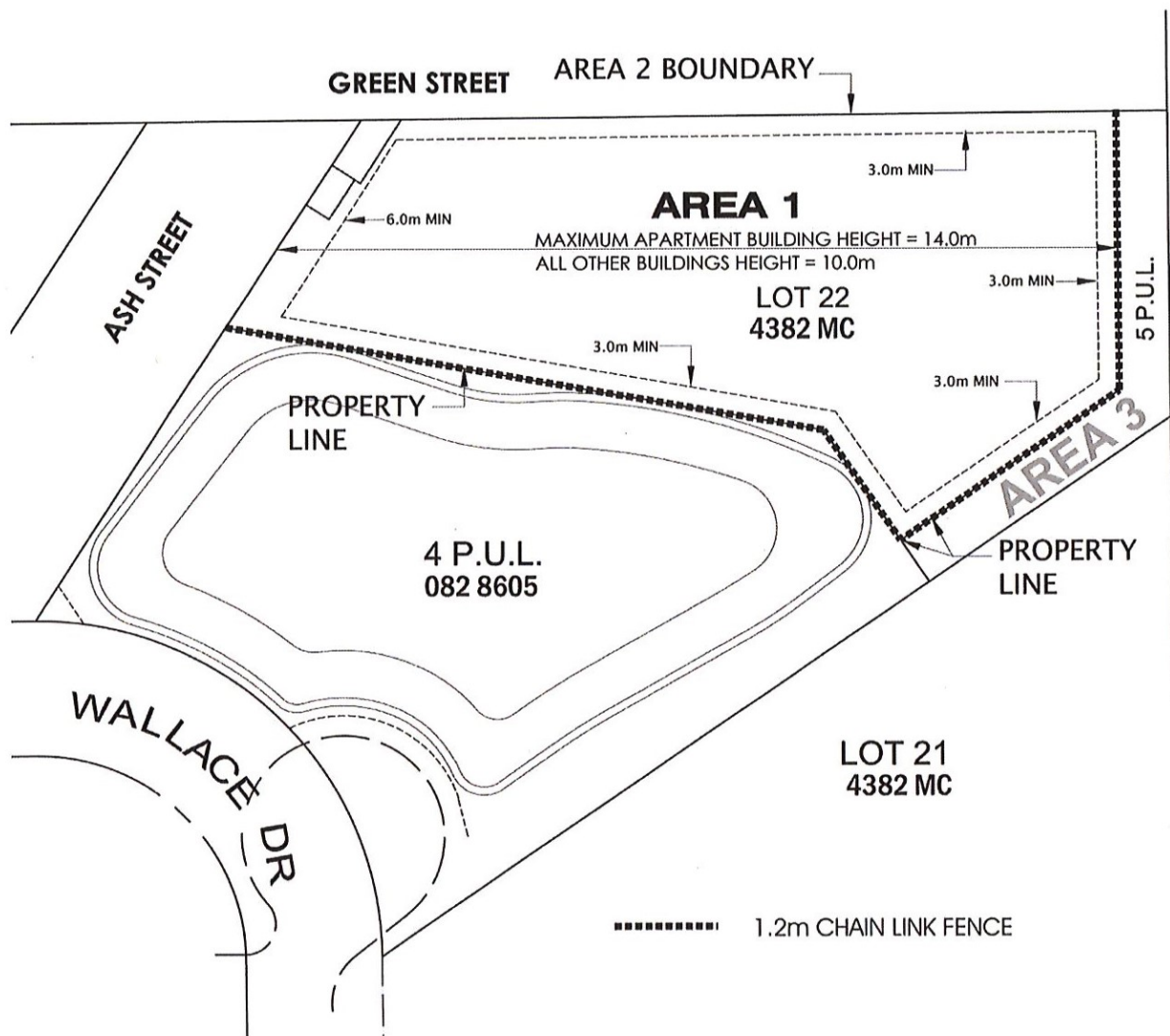
- 7.1.** In addition to the regulations listed in the district, permitted and discretionary uses are subject to the applicable regulations contained within this Bylaw, unless such regulation is specifically excluded or modified by the Urban Village Zoning District.
- 7.2.** A Development Officer shall consider and decide upon all development permit applications within this District.

ATTACHMENT "A"
SPECIFIC DEVELOPMENT AREAS
(Bylaw 5-2020-Jan 28, 2020)



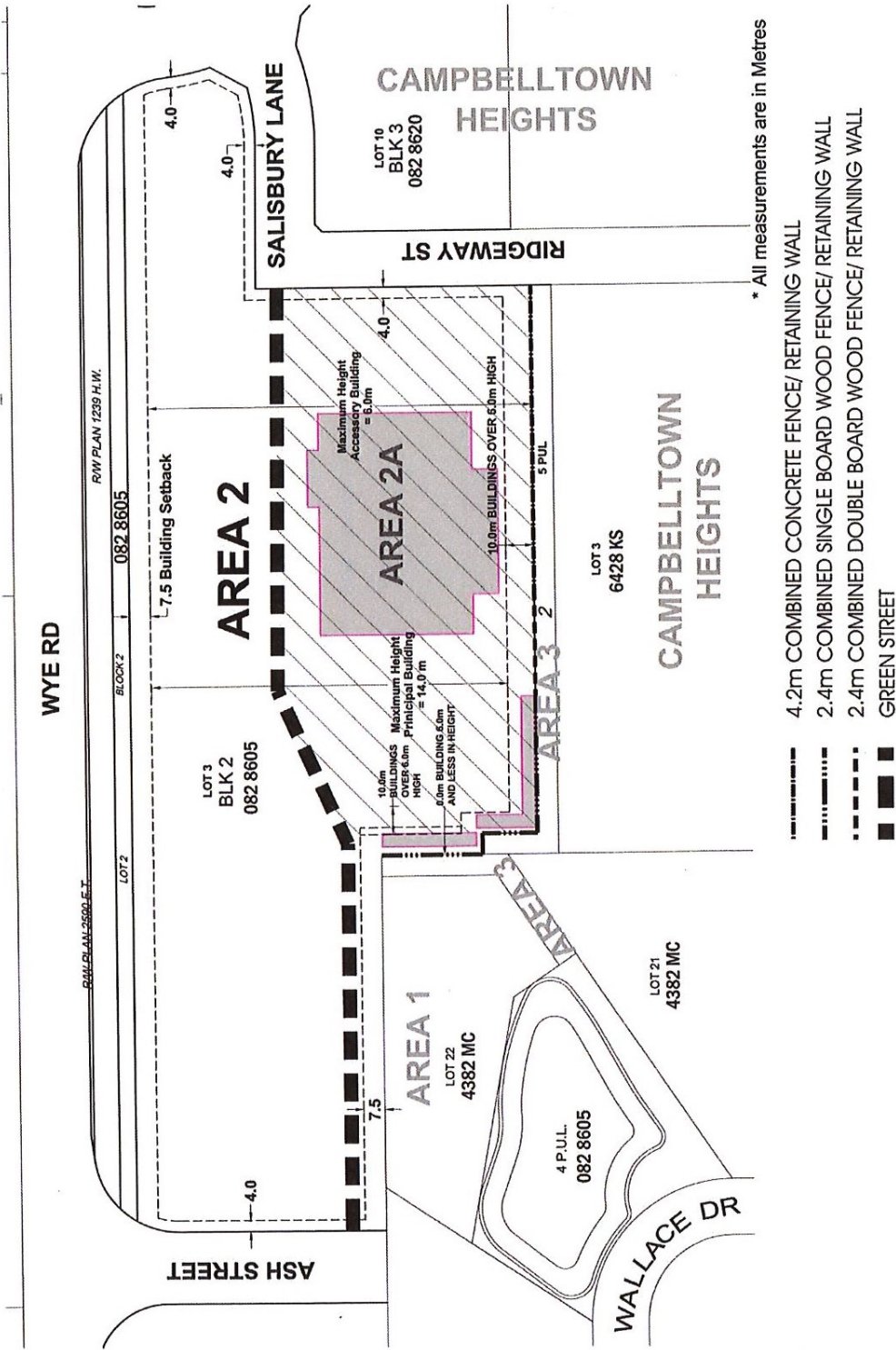
AREA 1 SITE PLAN

ATTACHMENT "B"
(Bylaw 5-2020-Jan 28, 2020)
Page 1 of 15



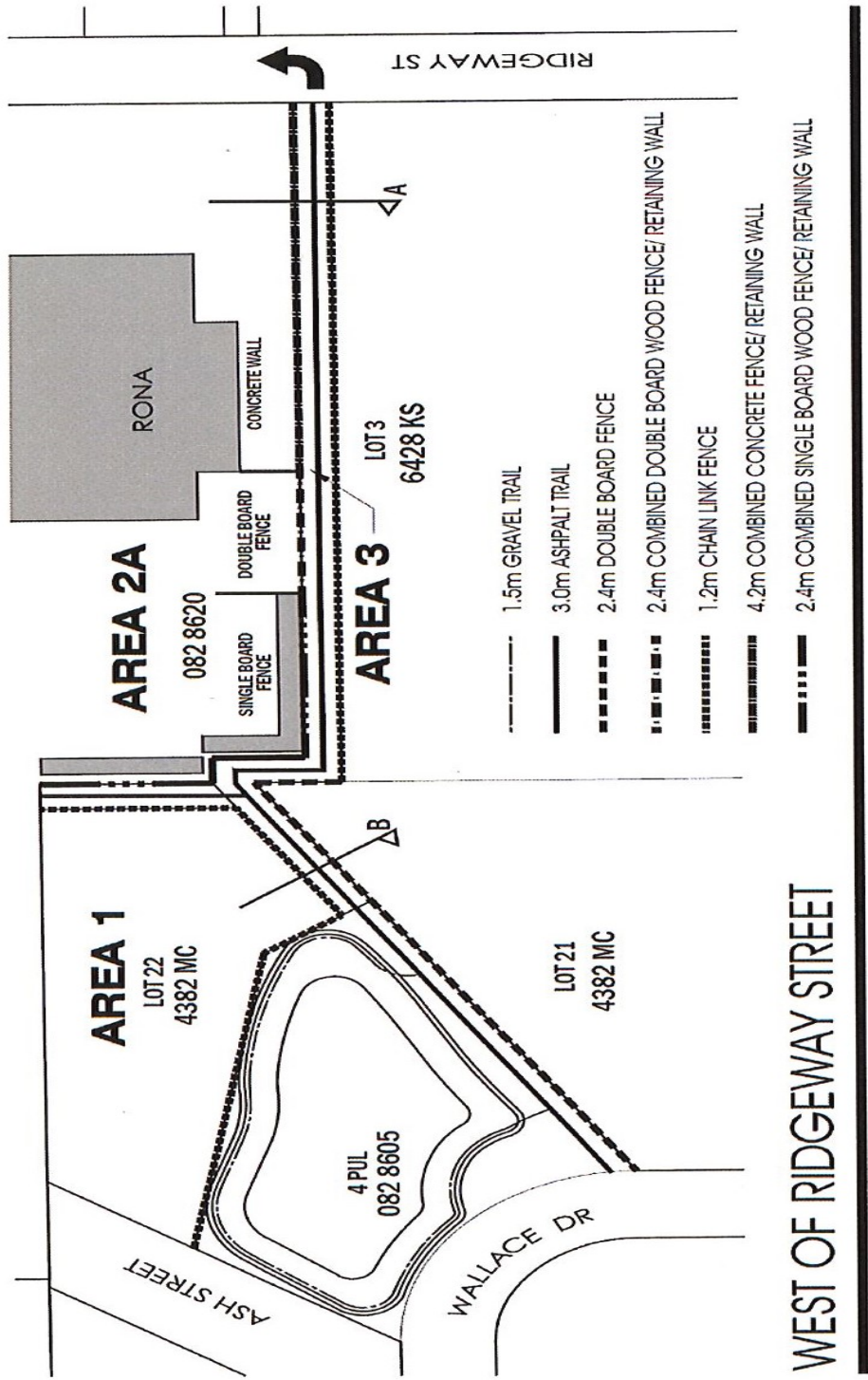
AREA 2 SITE PLAN

ATTACHMENT "B"
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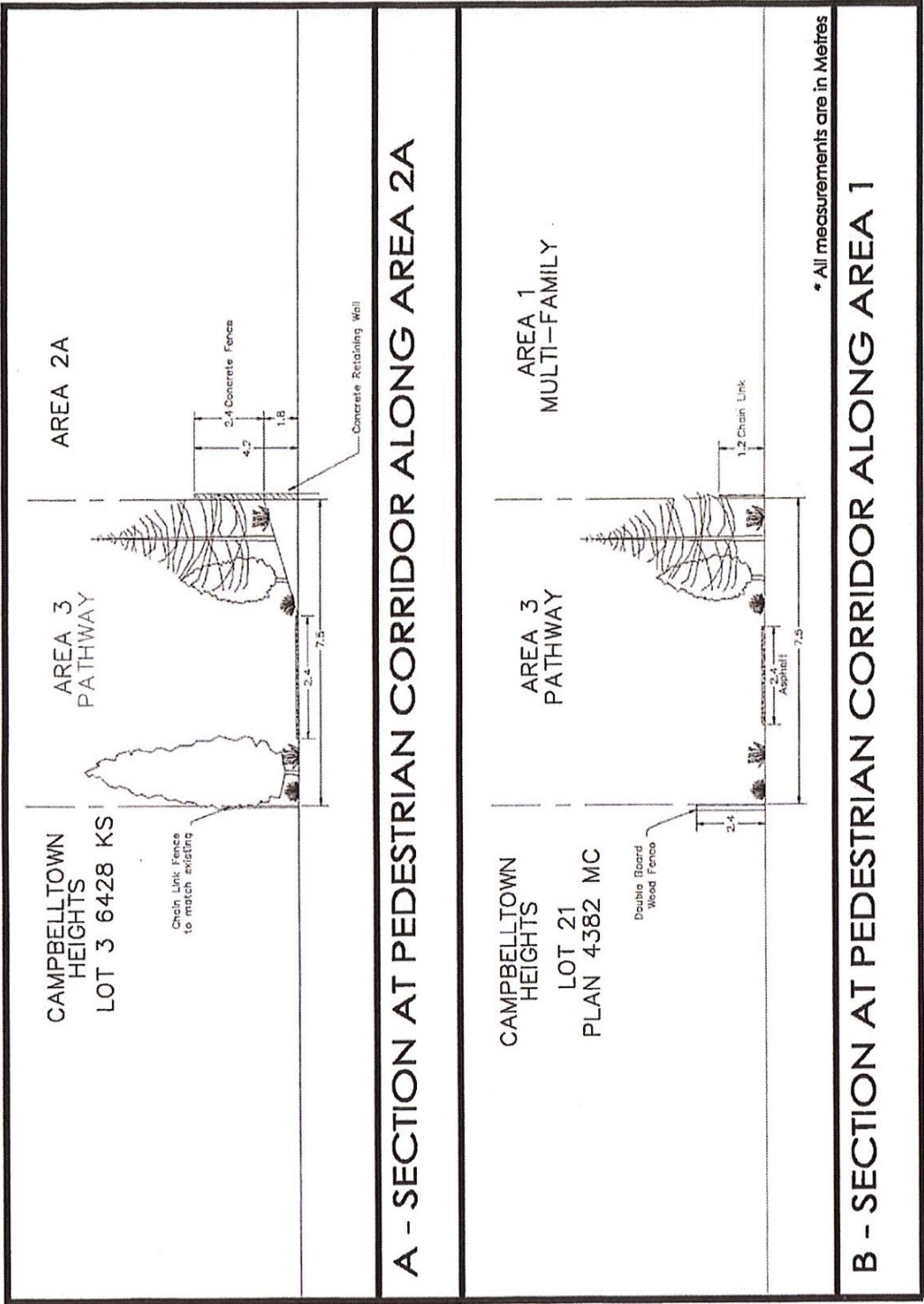
AREA 3 (Phase 1) SITE PLAN

ATTACHMENT "B"
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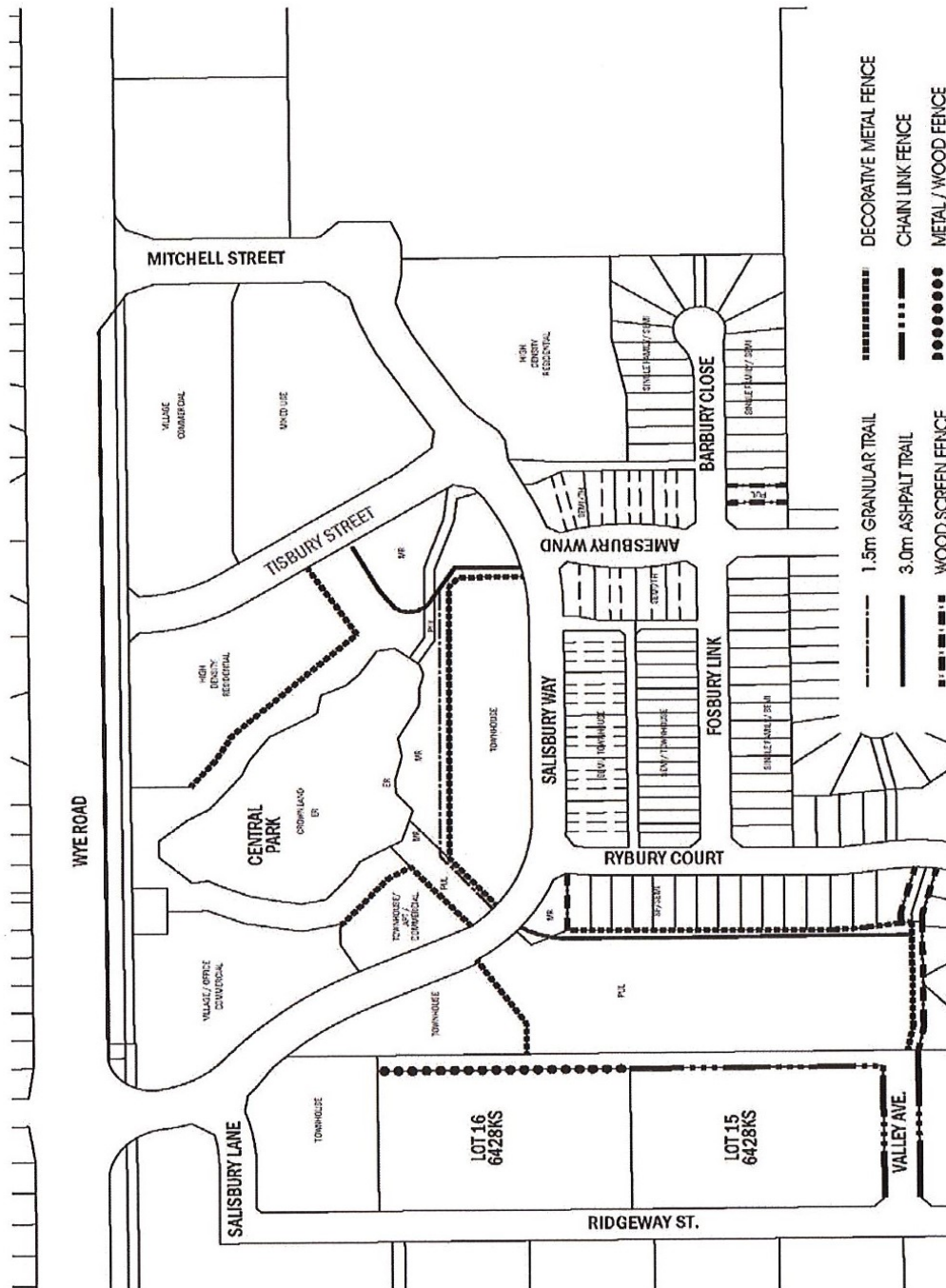
AREA 3 (PHASE 1) SECTIONS

ATTACHMENT "B"
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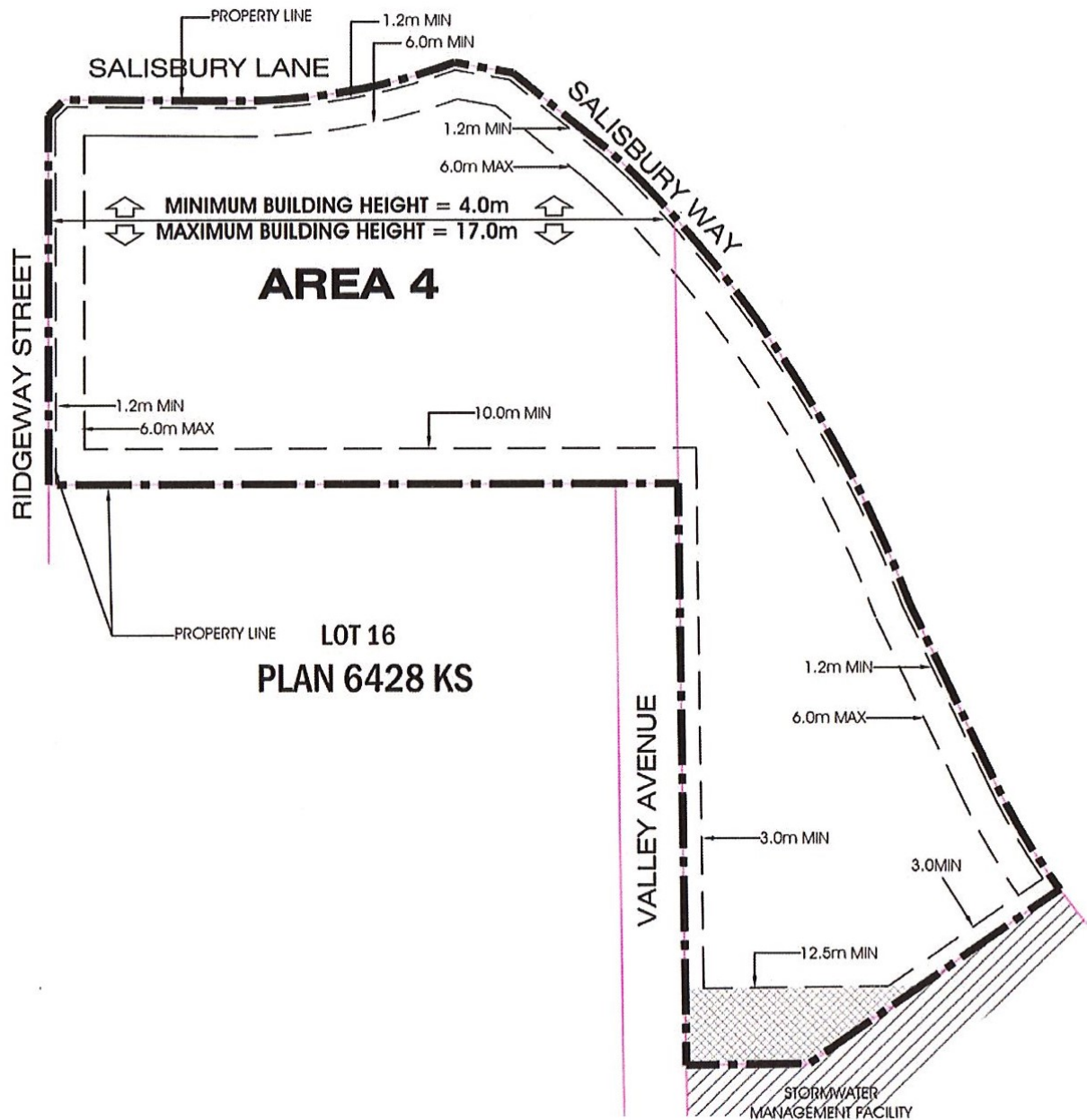


AREA 3 (Phase 2) SITE PLAN

ATTACHMENT "B"
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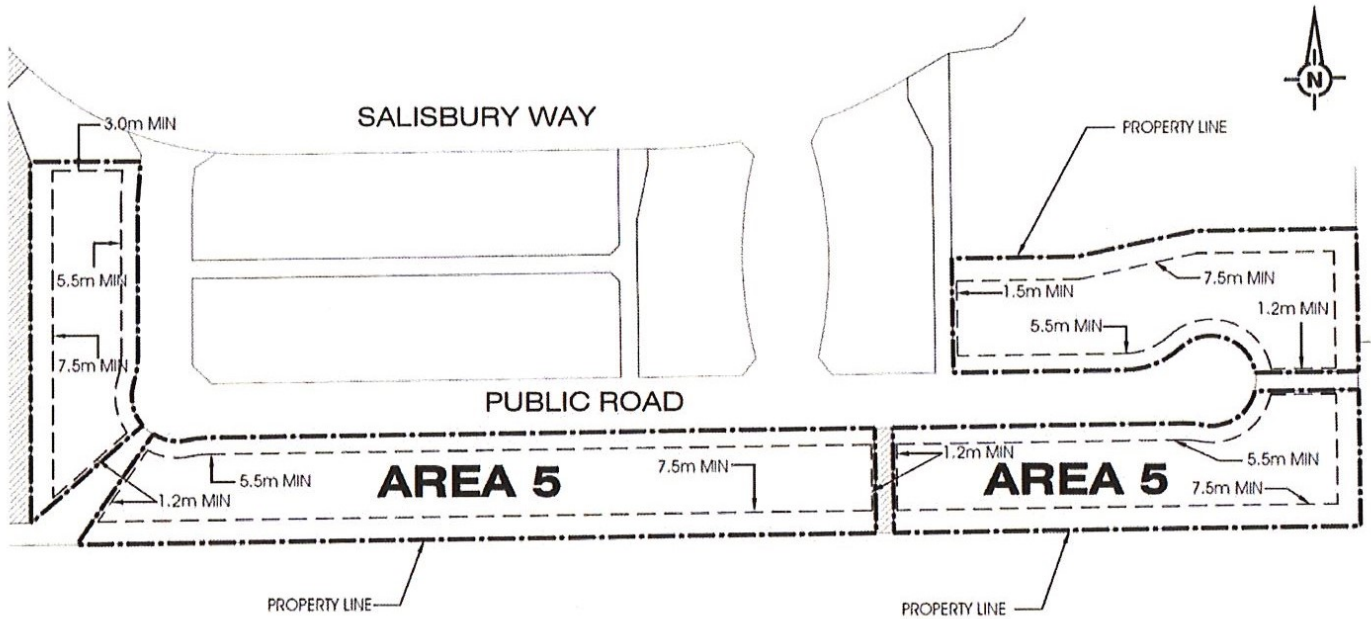


AREA 4 SITE PLAN

ATTACHMENT "B"
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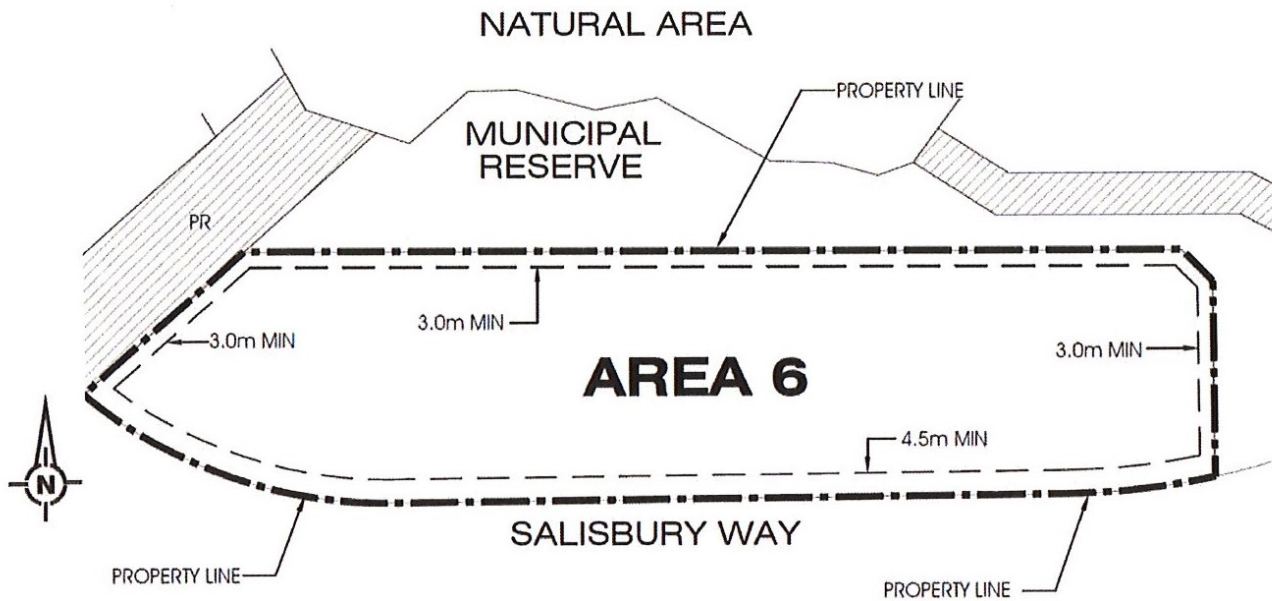
AREA 5 SITE PLAN

ATTACHMENT "B"
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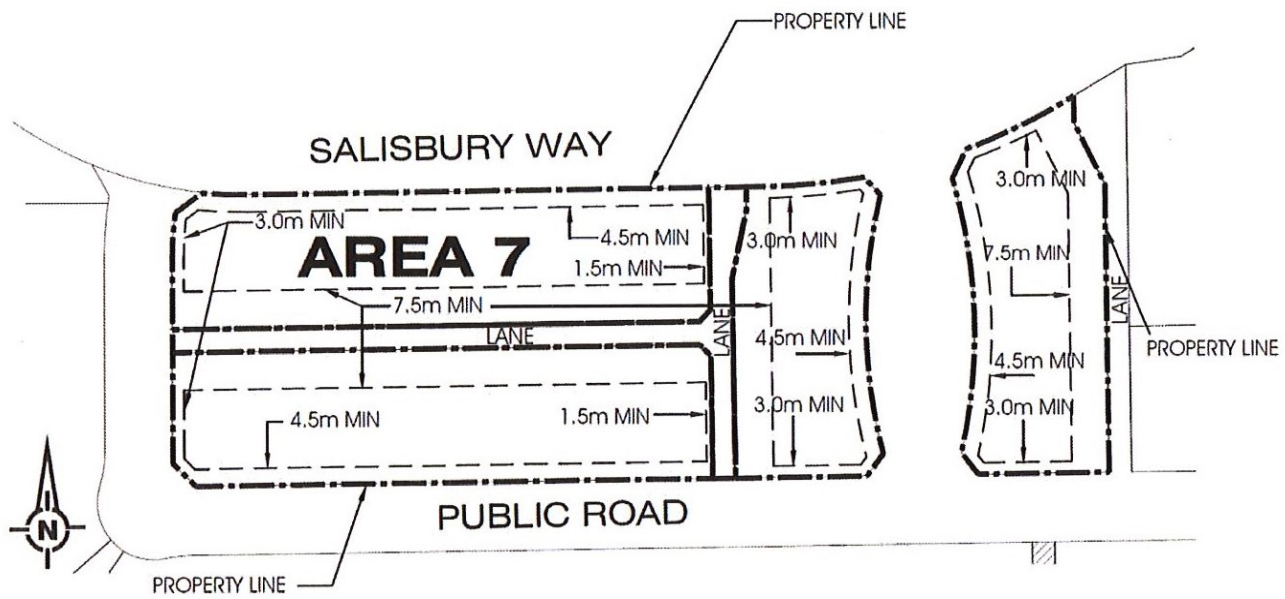
AREA 6 SITE PLAN

ATTACHMENT "B"
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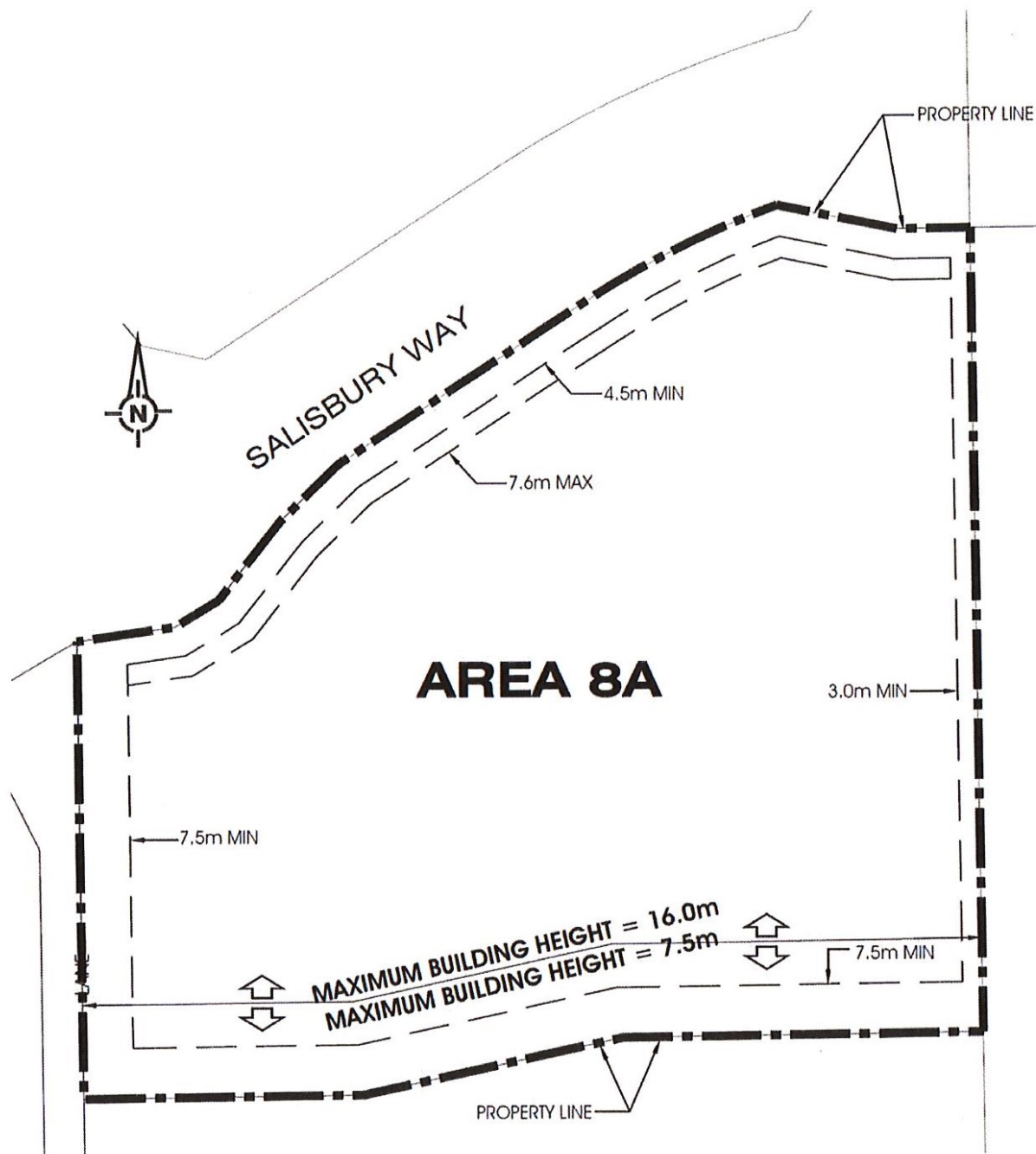


AREA 7 SITE PLAN

ATTACHMENT "B"
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AREA 8A SITE PLAN

ATTACHMENT "B"
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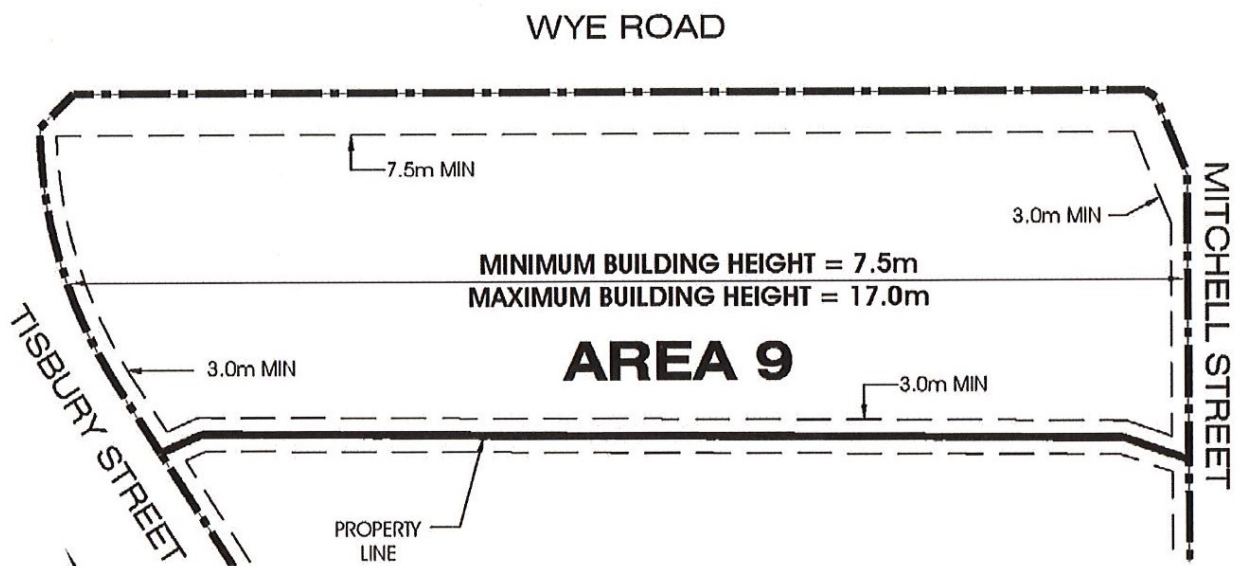
AREA 8B SITE PLAN

ATTACHMENT "B"
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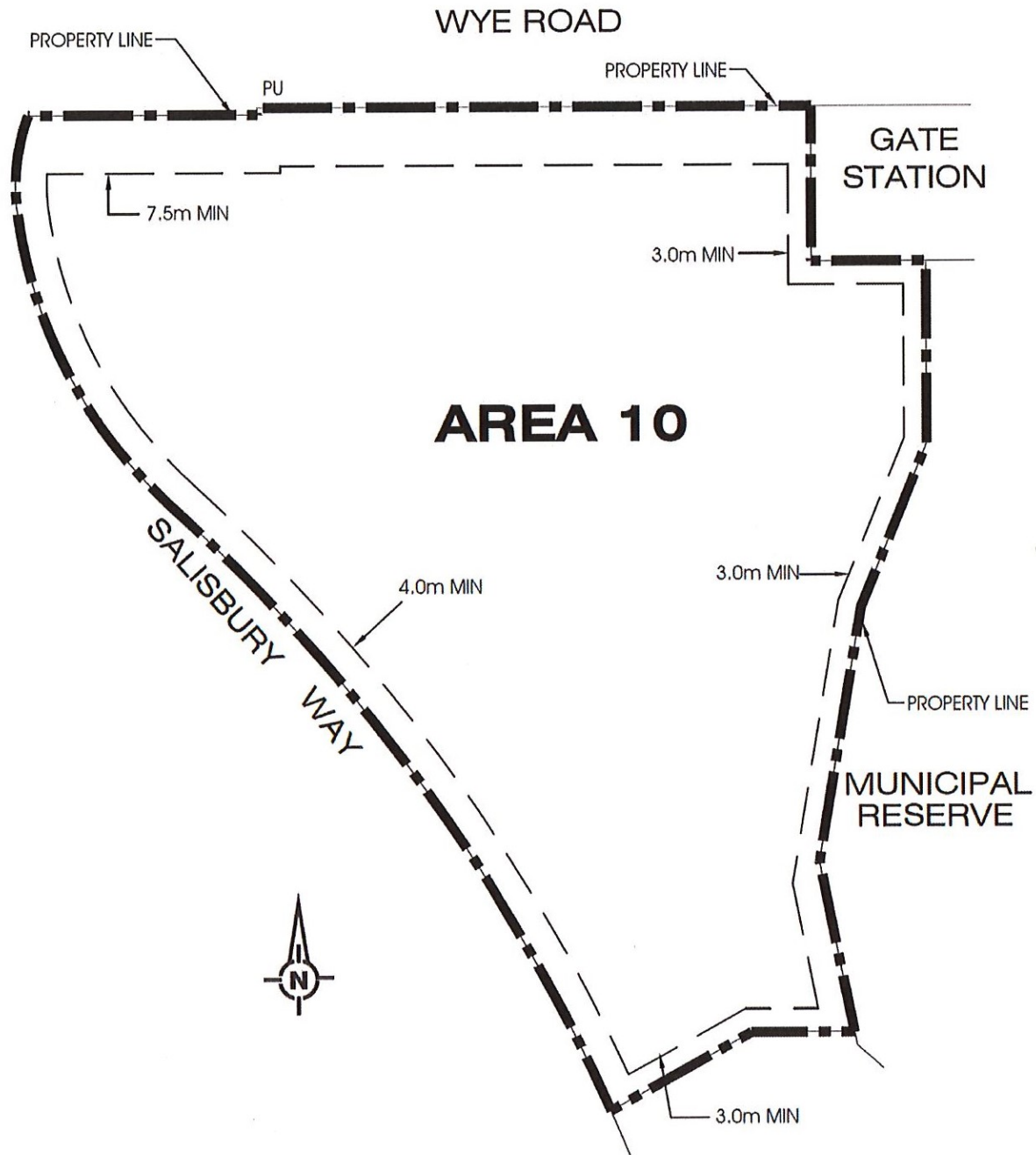
AREA 9 SITE PLAN

ATTACHMENT "B"
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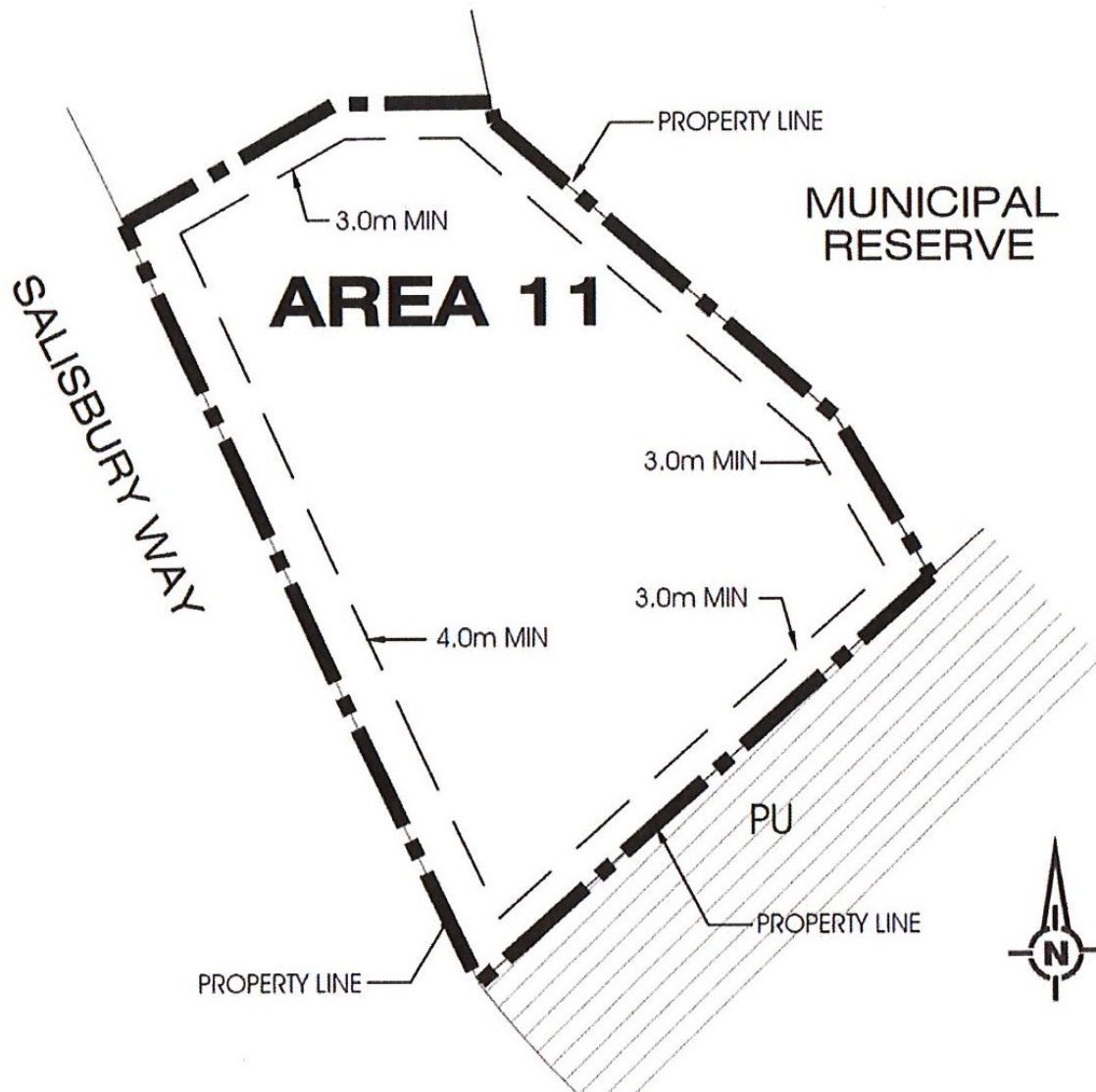
AREA 10 SITE PLAN

ATTACHMENT "B"
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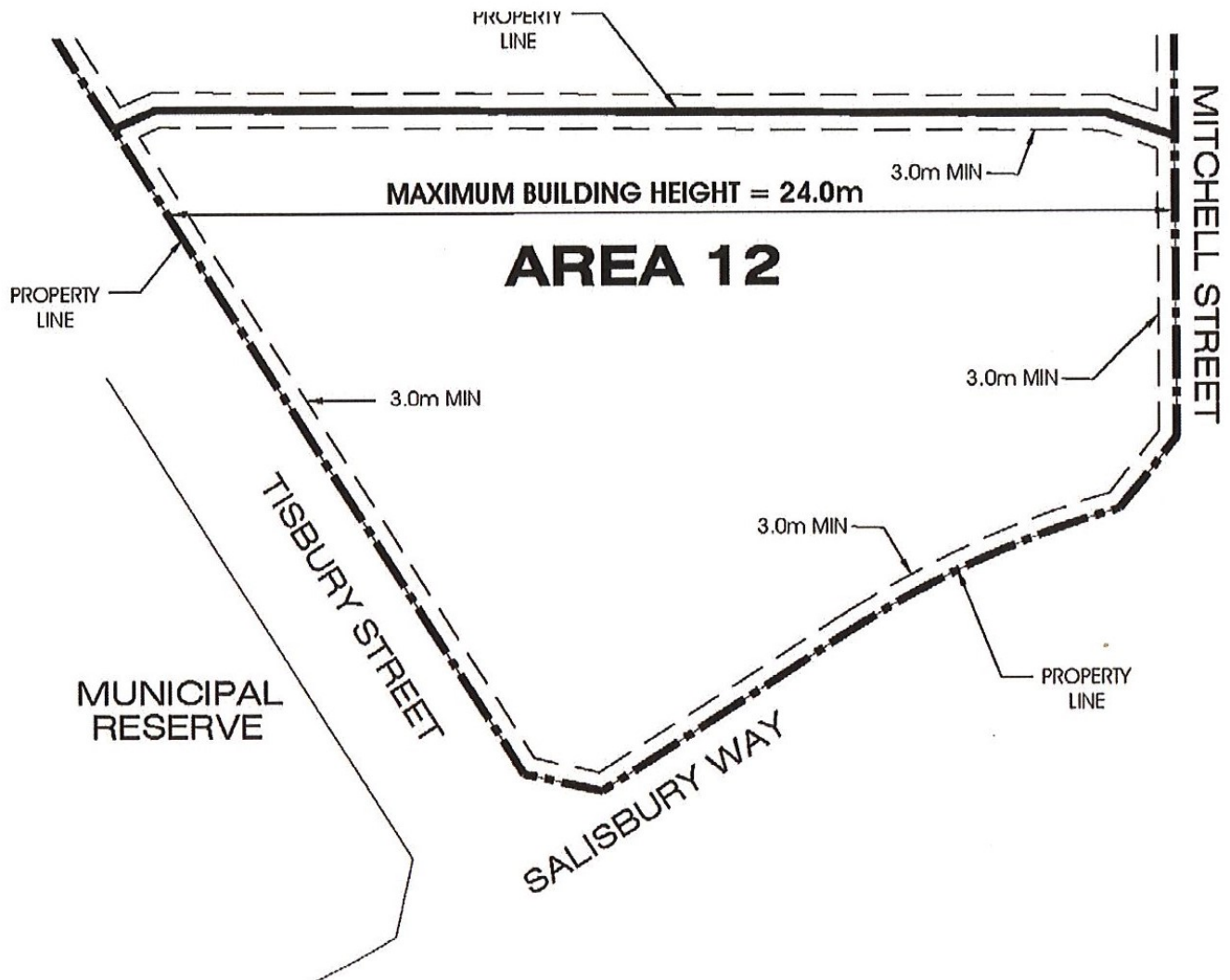
AREA 11 SITE PLAN

ATTACHMENT "B"
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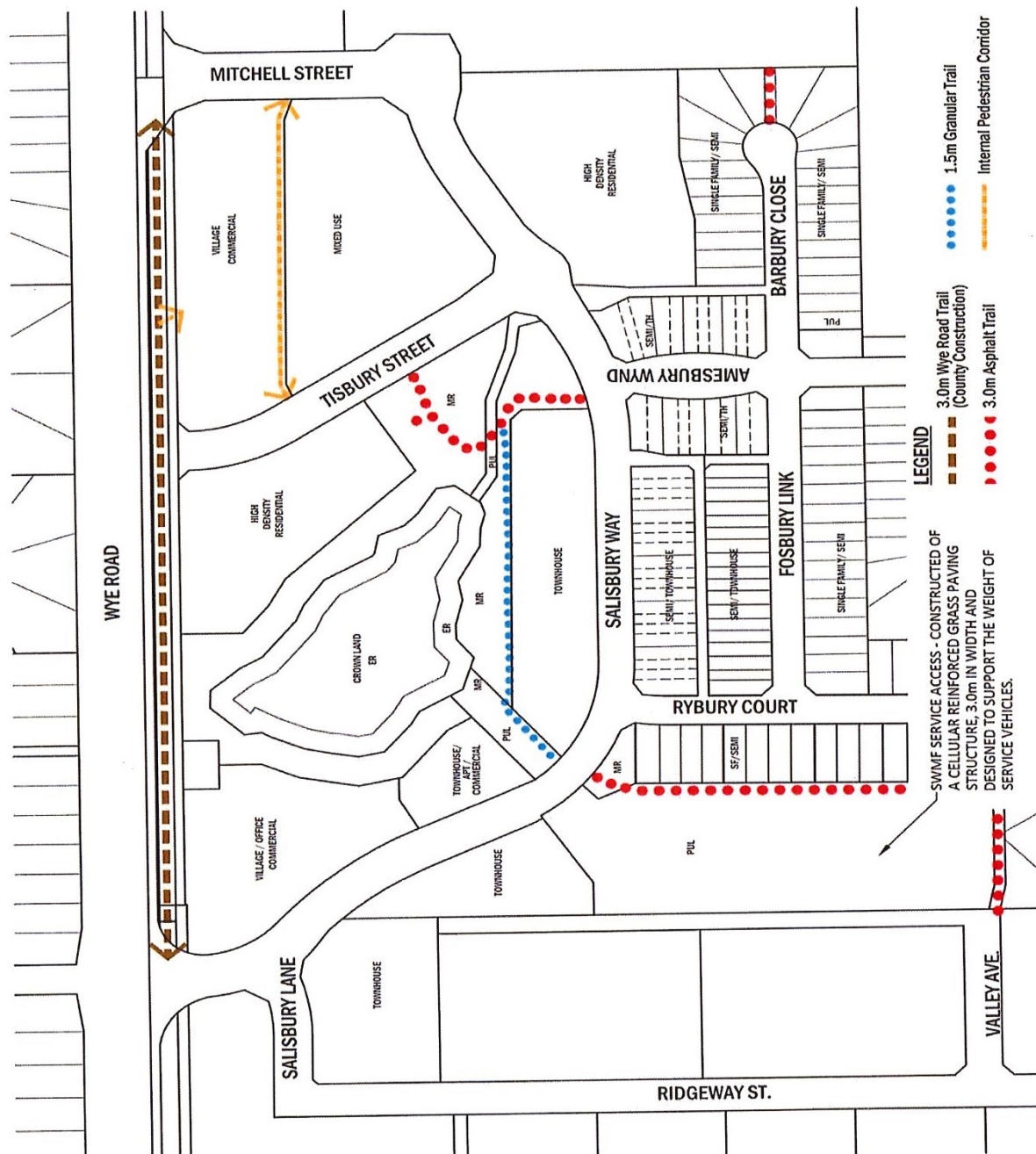


AREA 12 SITE PLAN

ATTACHMENT "B"
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ATTACHMENT "C"
(Bylaw 5-2020-Jan 28, 2020)
TRAIL PLAN



ATTACHMENT "D"
(Bylaw 5-2020-Jan 28, 2020)
FENCING PLAN

